

5 River Road
Essex, CT 06426



ISSUE / REVISIONS		
NO.	DATE	REVISIONS
1	07/22/22	2RA APPLICATION SUBMISSION

NOT FOR
CONSTRUCTION

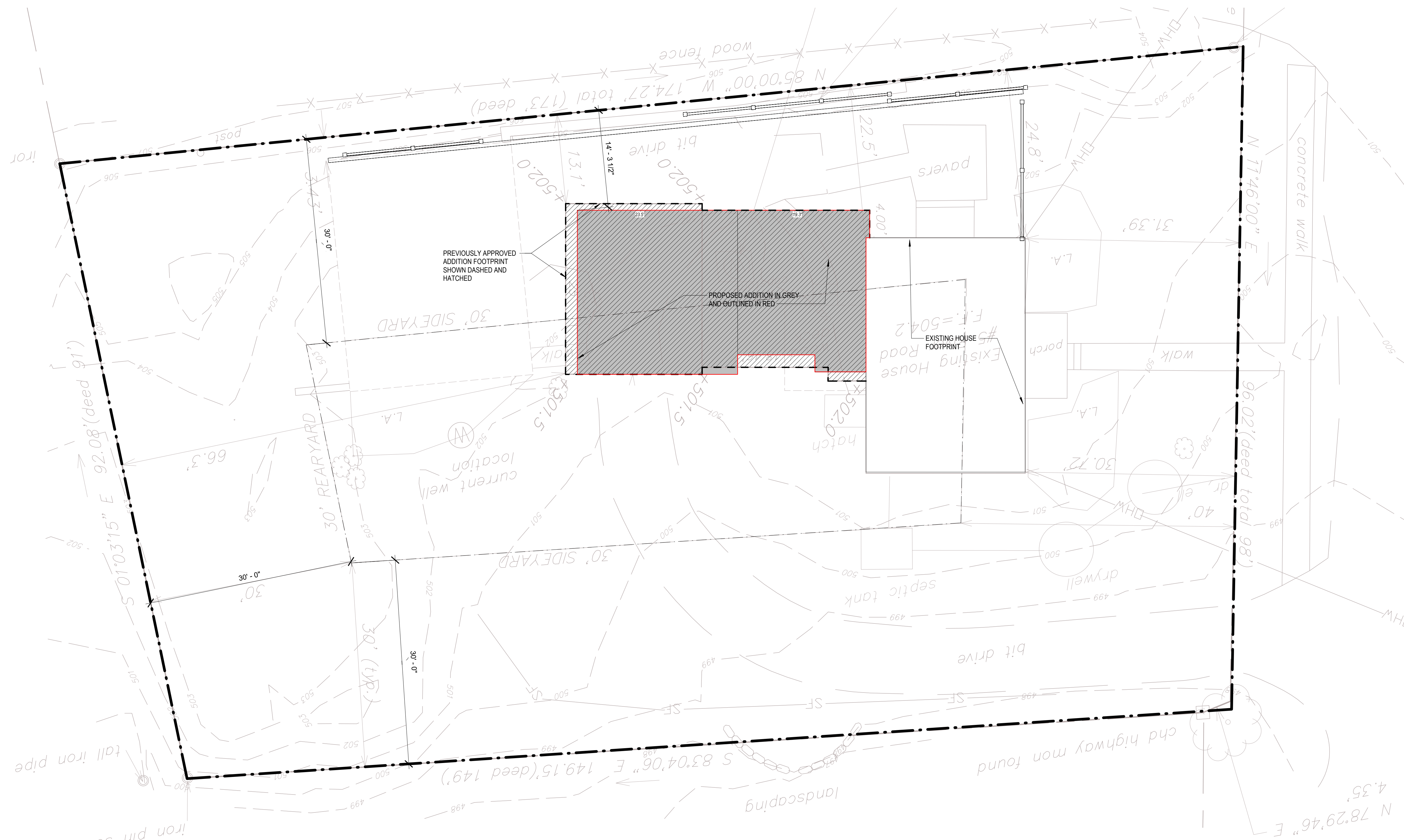
DRAWING NAME

**PROPOSED SITE
PLAN**

SCALE 1/8" = 1'-0"	DRAWN BY HP
FILE	DATE 07/22/2022

DRAWING NUMBER

ZBA-1



1 Site Plan
ZBA-1 1/8" = 1'-0"

1 First Floor
ZBA-2 1/4" = 1'-0"

Thomas
Residence

5 River Road
Essex, CT 06426



PROCTOR ARCHITECTS, LLC

28 Main Street Suite 4
Essex, CT 06426
tel: 860.767.0767

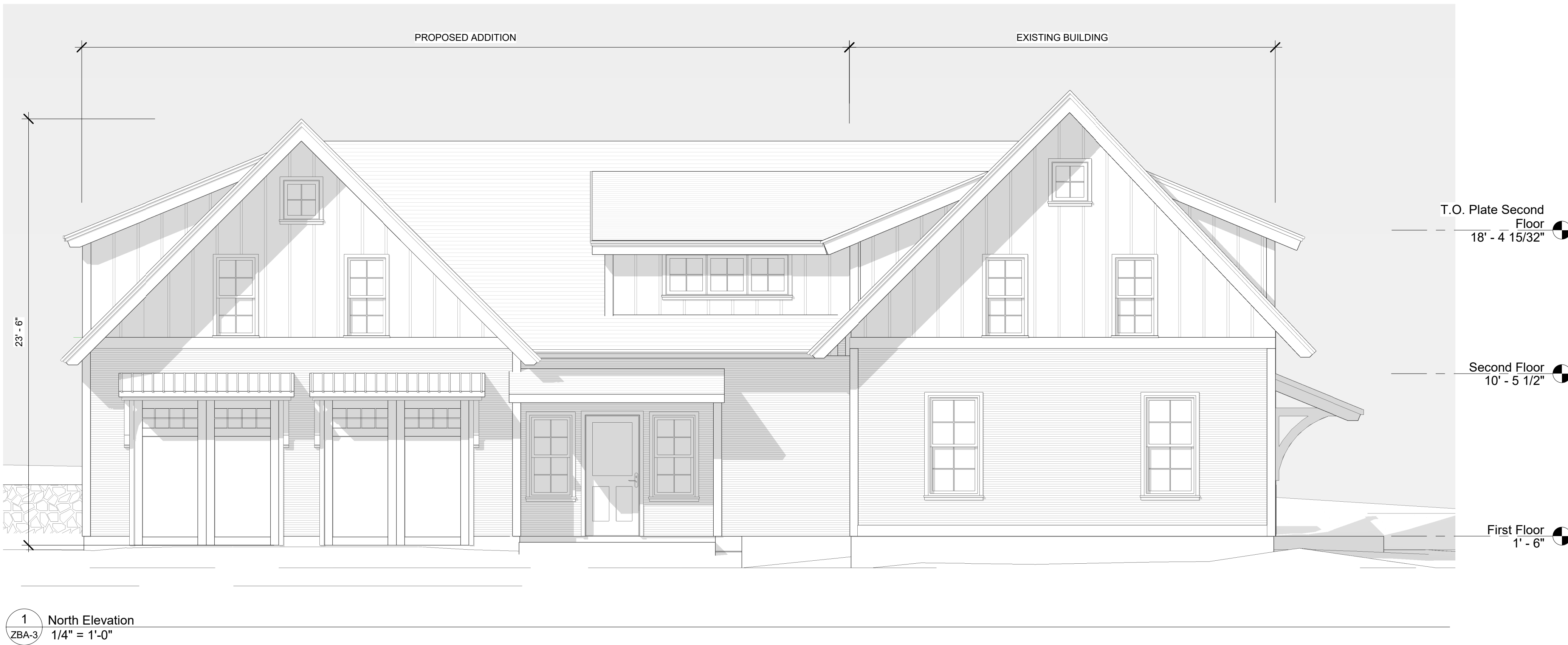
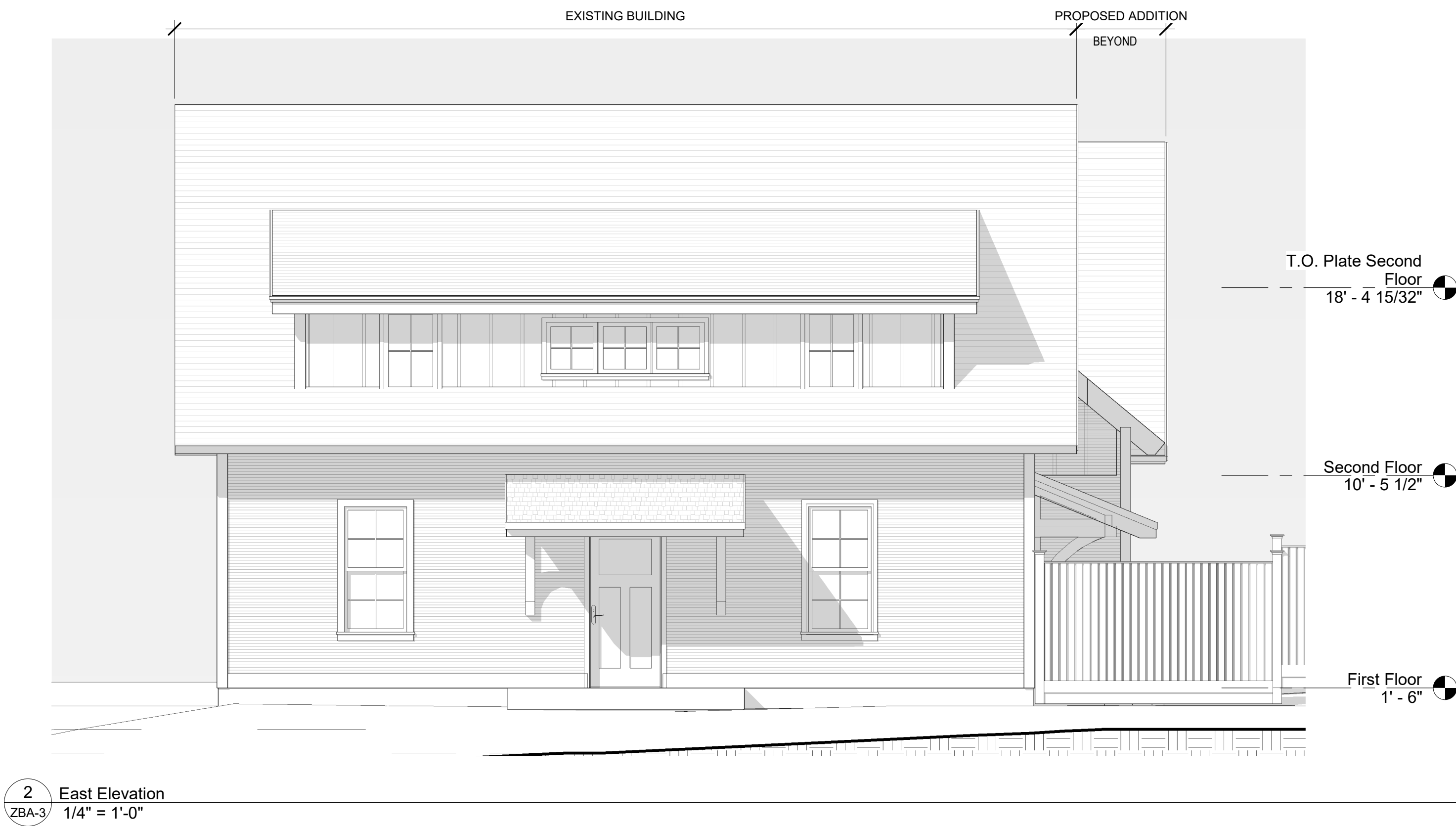
ISSUE / REVISIONS		
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1	07/22/22	ZBA APPLICATION SUBMISSION

NOT FOR
CONSTRUCTION

DRAWING NAME
**NORTH & EAST
ELEVATIONS**

SCALE 1/4" = 1'-0"	DRAWN BY HP
FILE	DATE 07/22/2022

DRAWING NUMBER
ZBA-3



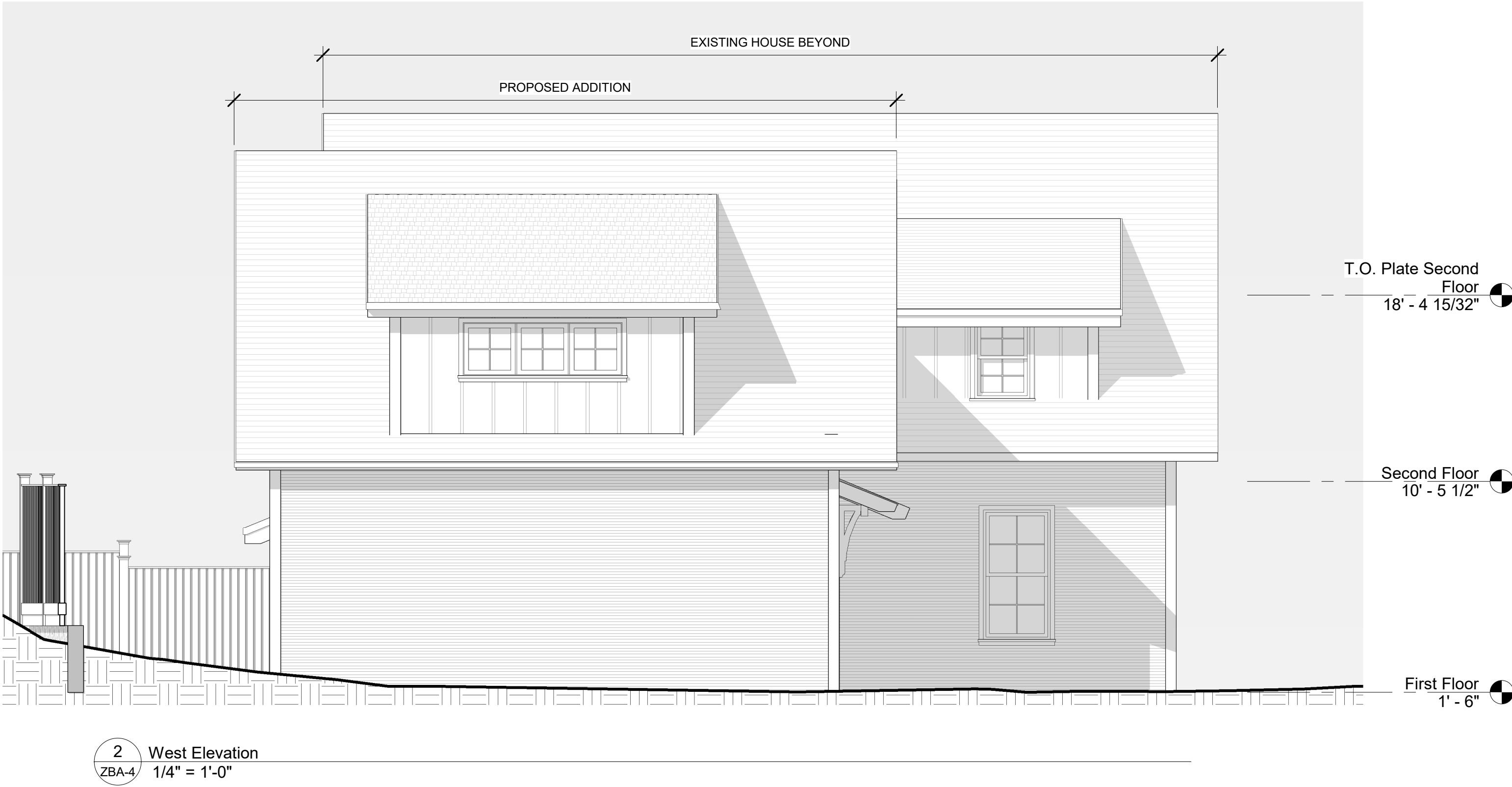
Thomas
Residence

5 River Road
Essex, CT 06426



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28 Main Street Suite 4
Essex, CT 06426
tel:860.767.0767



2 West Elevation
ZBA-4 1/4" = 1'-0"



1 South Elevation
ZBA-4 1/4" = 1'-0"

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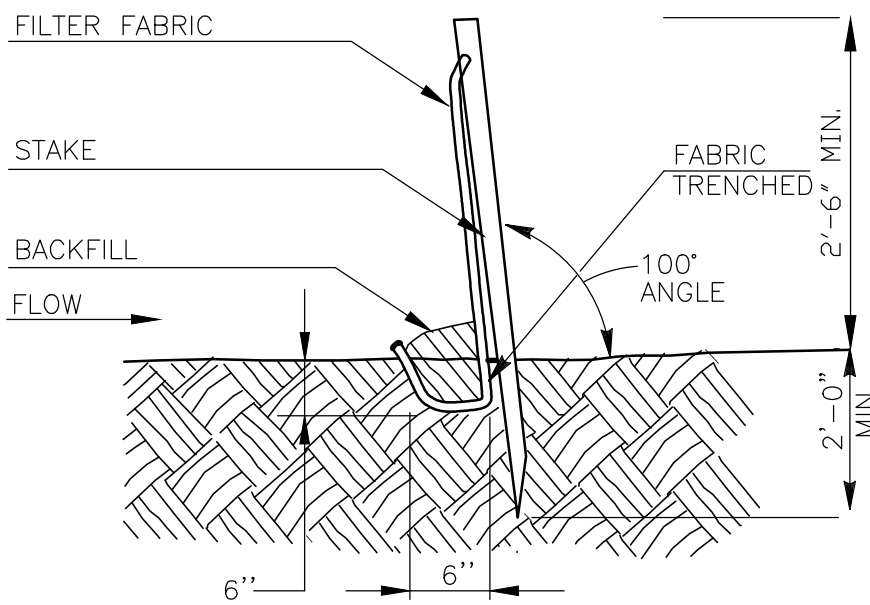
NOT FOR
CONSTRUCTION

DRAWING NAME
SOUTH & WEST
ELEVATIONS

SCALE 1/4" = 1'-0"	DRAWN BY HP
FILE	DATE 07/22/2022

DRAWING NUMBER
ZBA-4

- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
B) MAXIMUM POST SPACING IS 8'-0".
C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 2' OVERLAP, SECURELY SEALED.
D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE TOWN ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.



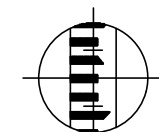
SYNTHETIC FILTER BARRIER
(SILT FENCE) N.T.S.

I hereby certify that
this map has been prepared pursuant to the
regulations of Connecticut state agencies sections
20-300b-1 through 20-300b-20 and the "Standards
for Surveys and Maps in the state of Connecticut" as
adopted by the Connecticut Association Of Land
Surveyors, Inc. on September 26, 1996;

The type of survey performed is a boundary and topographic survey
and is intended to show existing conditions.

Boundary determination/opinion is a first survey
and is based upon locating physical evidence, map
references and deed descriptions; and
this survey conforms to Class A-2/T-2 accuracy standards.
To my knowledge and belief this map is substantially
correct as noted herein.

The field work was performed on 4-2016.



CT REG. NO. 18,857

William B. Hearn, L.S. #18,857
2 Birch Circle
Centerbrook, Connecticut
06409

This map is not valid without the live signature and impression
type seal of the surveyor whose signature appears hereon.

No certification is expressed or implied on any original
or duplicate of this plan unless it bears the impression
and/or red ink type seal and original signature of William
Hearn, L.S.
These drawings are the property of William Hearn, L.S. and
have been specifically prepared for the use of the owner of this
project or property. they are not to be duplicated or used in
part or whole for any other purpose, project, location or owner
without the express written consent of William Hearn, L.S.

NOTES

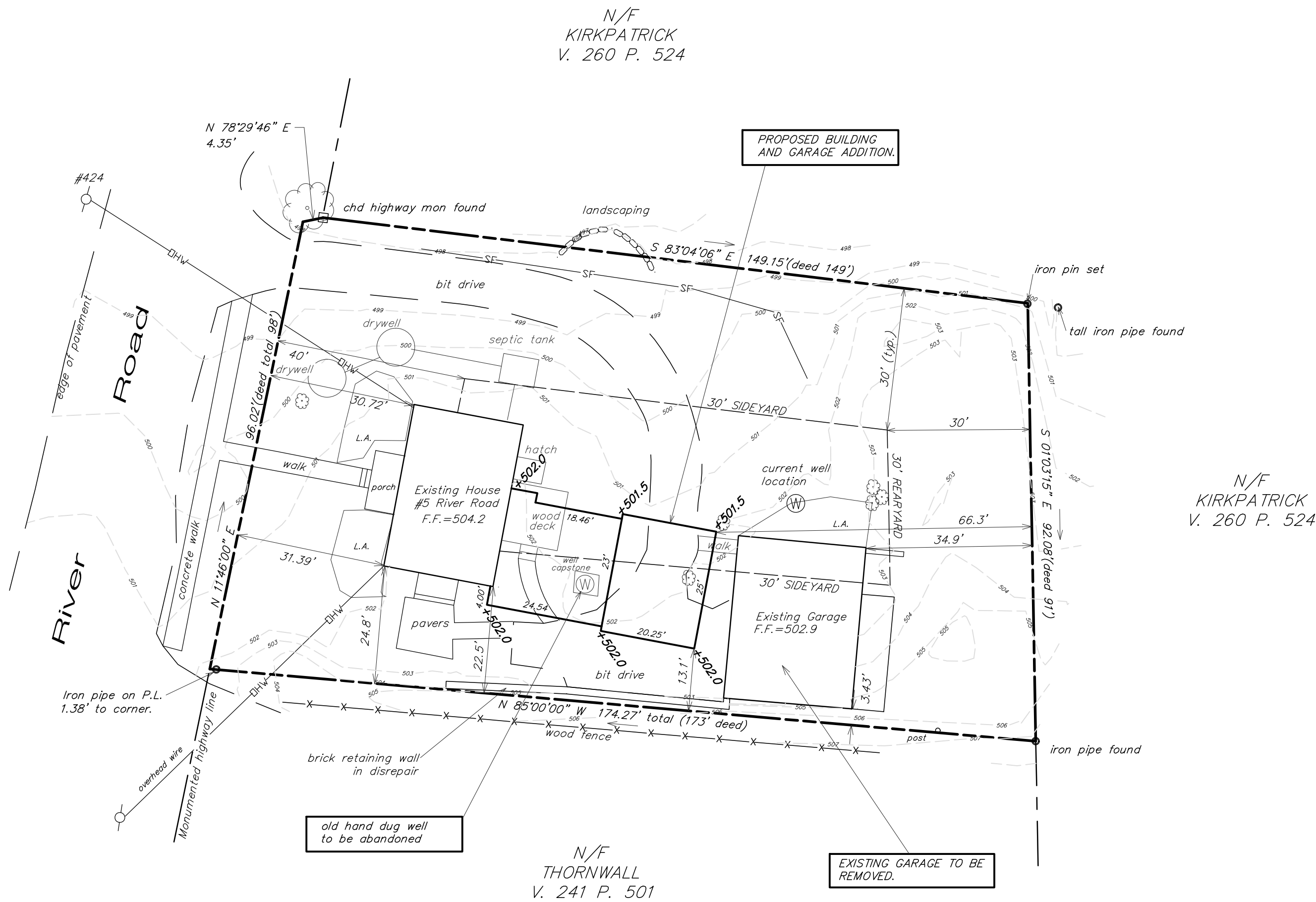
Bearings per map ref.
Vertical datum assumed
Lot area is 15,408.2 Sq. Feet
Septic information shown per town records.
For specific build information see architectural plans.

MAP REFERENCE

"Boundary and Topographic Survey, Property
of Kristen L. Thomas, #5 River Road,
Essex, Connecticut, scale 1"=20', 4-29-16, Hearn
"Property survey prepared for H. Scott Kirkpatrick
and Leslie G. Kirkpatrick Essex, Connecticut"
eth#475, scale 1"=40', 2-3-98, Hendriks.
"Property survey map showing the division of the tract two of
property of H. Scott Kirkpatrick and Leslie G. Kirkpatrick
Essex, Connecticut" eth#565, scale 1"=40', 3-21-2002, Hendriks.

LEGEND

silt fence ——— SF ———
adjoiners' line ———
edge of pavement ———
setback line ———
tree (symbol) utility pole (symbol)
boundary/property line ———
Proposed Elevation +302.0



	ZONING REQUIREMENTS (RU)		
	REQUIRED	EXISTING	PROPOSED
Lot Area (Acres/S.F.)	130,000 S.F.(Min)	15,408.2 S.F.	15,408.2 S.F.
Frontage/ Lot Width (ft.)	150' (Min)	98'	98'
Lot Depth (ft.)	(Min)	173'	173'
Front Yard Setback (ft.)	40' (Min)	30'-9"	30'-9"
Rear Yard Setback (ft.)	30' (Min)	34'-11"	66'-1"
Side Yard Setback (ft.)	30' (Min)	3'-5"	13'-1"
Average Height (Stories / ft.)	30' (Max)	<30'	<30'
Floor Area (S.F.)		2192.4 S.F.	2023.0 S.F.
Building Coverage (Percentage)	15% (Max)	14.2%	13.2%

SEDIMENTATION AND EROSION CONTROL NOTES
1. LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND RESTABILIZATION
SCHEDULED AS SOON AS PRACTICAL. ALL EROSION AND SEDIMENT CONTROL
MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST
STANDARDS AND SPECIFICATIONS SET FORTH THE CONNECTICUT GUIDELINES
FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CONNECTICUT COUNCIL ON
SOIL AND WATER CONSERVATION.
2. ALL EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN AN
EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL
PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED.
3. SILT FENCE OR HAY BALES SHALL BE INSTALLED IN ACCORDANCE WITH THE
DETAILS AND PLANS AND STAKED INTO PLACE. PROTECTIVE MEASURES SHALL
BE PLACED BEFORE THE CUTTING AND FILLING PROCEEDS.
4. ON AREAS TO BE LEFT BARE FOR UP TO 30 DAYS, TEMPORARY SEEDING
SHOULD BE USED, SUCH AS STRAW MULCH, ANCHORED IN PLACE AS REQUIRED.
5. ALL DISTURBED AREAS SHALL BE LOAMED AND SEDED AS SOON AS
POSSIBLE AFTER SYSTEM CONSTRUCTION. ALL AREAS SHALL BE PROTECTED
AGAINST EROSION DURING CONSTRUCTION, USING HAY BALES AS REQUIRED.

Property Improvement Plan
property of
Kristine L. Thomas
#5 River Road
Essex, Connecticut
Date: 5-27-16 Scale: 1"=20'