

Pzc # 22-22

File Copy  
**RECEIVED**  
DEC 05 2022

TOWN OF ESSEX  
**LAND USE APPLICATION**  
PART ONE

BY: .....

PLEASE CHECK THE APPROPRIATE LINE(S) AND ATTACH THE APPROPRIATE APPLICATION(S):

- SPECIAL EXCEPTION  VARIANCE / APPEAL \_\_\_\_\_
- SITE PLAN REVIEW \_\_\_\_\_ APPROVAL OF LOCATION \_\_\_\_\_
- INLAND WETLANDS PERMIT \_\_\_\_\_ REGULATION TEXT AMENDMENT \_\_\_\_\_
- INLAND WETLANDS PERMIT \_\_\_\_\_ ZONE CHANGE \_\_\_\_\_
- AGENT APPROVAL \_\_\_\_\_ COASTAL SITE PLAN REVIEW \_\_\_\_\_
- WETLAND PERMIT TRANSFER \_\_\_\_\_ MODIFICATION OF PRIOR APPROVAL \_\_\_\_\_
- SUBDIVISION OR RESUBDIVISION \_\_\_\_\_ SPECIAL FLOOD HAZARD AREA PERMIT \_\_\_\_\_

PROJECT DESCRIPTION:

Use the designated area on 27 Industrial Park Road to store clean roll off dumpsters and trash/recycle containers.

PROJECT NAME: All Realty LLC

STREET ADDRESS OF PROPERTY 27 Industrial Park Road

ASSESSOR'S MAP 44 LOT 37-1 LOT SIZE 6.03 DISTRICT C+LI

APPLICANT All Realty LLC  
143 Murphy Rd. Hartford, CT 06146 PHONE 203-623-2473

APPLICANT'S AGENT (if any) Terrance D. Lomme, Esq.  
P.O. Box 397 Essex CT 06426 PHONE 860-767-2300

ENGINEER.SURVEYOR/ARCHITECT Joseph Wren @ Indigo Land Design LLC  
40 Elm Street, Old Saybrook, CT PHONE 860-388-9343

Note:

- 1) TO BE ACCEPTED BY THE LAND USE OFFICE. THIS APPLICATION MUST BE COMPLETED, SIGNED, AND SUBMITTED WITH THE REQUIRED FEE(S) AND MAP(S) PREPARED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
- 2) THE SUBMITTAL OF THIS APPLICATION CONSTITUTES THE PROPERTY OWNER'S PERMISSION FOR THE COMMISSION OR ITS STAFF TO ENTER THE PROPERTY FOR THE PURPOSE OF INSPECTION.



**TOWN OF ESSEX**  
**Planning and**  
**Zoning Commission**  
 29 West Avenue  
 Essex, CT 06426  
 860-767-4340 x 115 Fax: 860-767-8509  
[www.essexct.gov](http://www.essexct.gov)

Fees: \$135.00 + \$60.00 (DEP)  
 Make check payable to the Town of Essex

**Application for Special Exception**  
**PART TWO**

Owner(s) of Property : All Realty, LLC  
 Address: 143 Murphy Road, Hartford, CT 06146  
 Phone No.: 203-623-2473 Email: \_\_\_\_\_

The Commission is authorized to grant a Special Exception for the use and/or improvement herein proposed by the provisions of Section 90.A.3(G) of the Essex Zoning Regulations.

Accompanying this application form is:

- A) A complete and comprehensive statement describing the proposed changes in use and/or improvements for which the amendment is requested;
- B) A complete legal description of the premises involved, identifying boundaries by metes and bounds or by courses and distances;
- C) A list of names and addresses, with Tax Map and Tax Lot Numbers of owners of all land abutting, and directly across the street from the land to which this application relates and;
- D) A Site Development Plan prepared or approved by a registered professional engineer or surveyor showing all information required to determine the compliance with the Zoning Regulations including lot area, distances of improvements from lot lines, area coverage, and building height.

I/We, the undersigned, certify that all the information on this application, including all accompanying documents, is correct as of the date below, and conforms with Town's zoning regulations. I/ We certify that I/ We am/are the owner(s) of the premises described above and are aware of and understand the above referenced zoning regulation(s).

<p><b>FOR OFFICIAL USE ONLY:</b></p> <p>Application No. <u>22-22</u></p> <p>Date received by ZEO: _____</p>
---

Signed: [Signature]  
 Property owner

Dated: 12/5/22



**NOTE: A SIGN IS REQUIRED TO BE POSTED ON THE PREMISES RE: SECTION 120F. STANDARDS OF THE ZONING REGULATIONS AS FOLLOWS:**

120F. PUBLIC HEARING. The Commission shall hold a public hearing on each application for a special exception. A copy of such application shall be filed in the office of the Town Clerk for public inspection at least ten (10) days before such hearing. Notice of the time and place of such hearing shall be published in the form of a legal advertisement appearing in a newspaper having a substantial circulation in the Town, at least twice, at intervals of not less than two (2) days, the first not more than fifteen (15) days, nor less than ten (10) days, and the last not less than two (2) days before the hearing. Such notice shall fairly and sufficiently apprise those who may be interested in the proceeding of the nature and character of the matter proposed in order that intelligent preparation for the hearing may be made. Such hearing shall commence within sixty-five (65) days after the receipt of the application. The hearing shall be completed within thirty-five (35) days after it commences. The commission shall render a decision on all applications within sixty-five (65) days after completion of such hearing. The petitioner or applicant may consent to one or more extensions of any period specified in this section, provided the total extensions all such periods shall not be longer than sixty-five (65) days, or may withdraw such petition or application.

**Not less than fifteen days prior to the commencement of the public hearing, the applicant shall post a notice of the hearing on the property involved.** Said notice shall be in the form of a freestanding sign, facing each adjacent public street, placed no more than thirty feet (30') from the public right-of-way and shall be clearly legible from the public street. **Said sign shall be produced of weather resistant material, shall be legibly lettered with a minimum letter size of two inches (2"). The sign shall not be greater than twelve square feet (12 sq. ft.).**

The sign shall contain the following text:

"Application pending on this property before the Planning and Zoning Commission for Special Exception approval for which a public hearing is being held:

Time: 7pm  
Date: January 3, 2023  
Place: Town Hall, 29 West Avenue, Essex, CT 06426  
For more information, call (860)767-4340 (or as said number is changed from time to time).

Said sign shall not be removed until after the public hearing has concluded. (August 1, 2007)

**Note:** If no required sanitary letter and data accompanies this application, a complete application shall be submitted to the Town Director of Health or the Town Sanitarian for review no later than the date of this completed application is received by the Commission. A letter from the Town Director of Health of the Town Sanitarian, along with a complete application, shall be filed in the office of the Town Clerk at least ten (10) days prior to the scheduled public hearing.

This checklist is a guide to assist the applicant(s). It does not relieve the applicant from the responsibility of being familiar with the Town of Essex Zoning Regulations and submitting a complete application.

Where the submission of information for a particular Special Exception application does not apply, the response in the 'provided' column may be checked off as "no" and such information shall not be required.

Signature of Property Owner



Date: 12/5/22

SECTION No.	DESCRIPTION	PROVIDED			WAIVER REQUEST
		YES	NO	N/A	
120A.1	Owner	✓			
120A.2	Purchaser Owner's written consent	✓			
120A.3	Lessee Owner's written consent			✓	
120B	Application Documents- 15 copies	✓			
120C.1	Description of Premises	✓			
120C.2	List of Neighboring Owners	✓			
120C.3	Statement of Use	✓			
120C.4	Site Development Plan	✓			
120C.4.a	Owner / Applicant Name	✓			
120C.4.b	Plan Data	✓			
120C.4.c	Roadways			✓	
120C.4.d	Survey Monuments	✓			
120C.4.e	Municipal / District Boundaries			✓	
120C.4.f	Easements / R-O-W / etc.			✓	
120C.4.g	Wetlands and Watercourses	✓			
120C.4.h	Total Premise Area Use	✓			
120C.4.i	Building / Lot Coverage			✓	
120C.4.j	Location / Setback Data			✓	
120C.4.k	Building / Structure Dimension Signs and Lighting			✓	
120C.4.l	Roadways and Parking			✓	
120C.4.m	Infrastructure Data			✓	
120C.4.n	Access / Soil / etc.	✓			
120C.4.o	Water Supply / Septic Systems			✓	
120C.4.p	Land Contours / Topography ( _____ foot intervals)	✓			
120C.4.q	Wetlands / Watercourses	✓			
120C.4.r	Soils Classifications	✓			
120C.4.s	Grading / Filling Limits / Erosion and Sediment Control	✓			
120C.4.t	Special Flood Hazard Area			✓	
120C.4.u	Floor Area / Parking Calculations / Parking Spaces per section .110			✓	
120C.5	Sanitation Letter & Data (see note below)			✓	
120C.6	Multiple Dwelling Projects			✓	
120C.7	Non-Commercial Timber Cutting			✓	
120C.8	Waiver Requests (written)		✓		
120D	Maps, Drawings, Certification	✓			
101	Gateway Conservation District			✓	
102	Coastal Management District			✓	
103	Flood Plain District			✓	
104	Water Resource District			✓	
	Application submitted to town Director of Health or Town Sanitarian for review	✓			

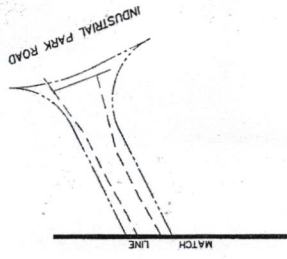
## Statement of Use

The owner of the property known as 27 Industrial Park Road, request a Special Exception to be able to use the southern 2 acres, more or less, as shown on the attached map, for the storage of roll offs and containers pursuant to 90A.3 (U) and consistent with the conditions of the Wetlands Permit issued on November 10, 2022.

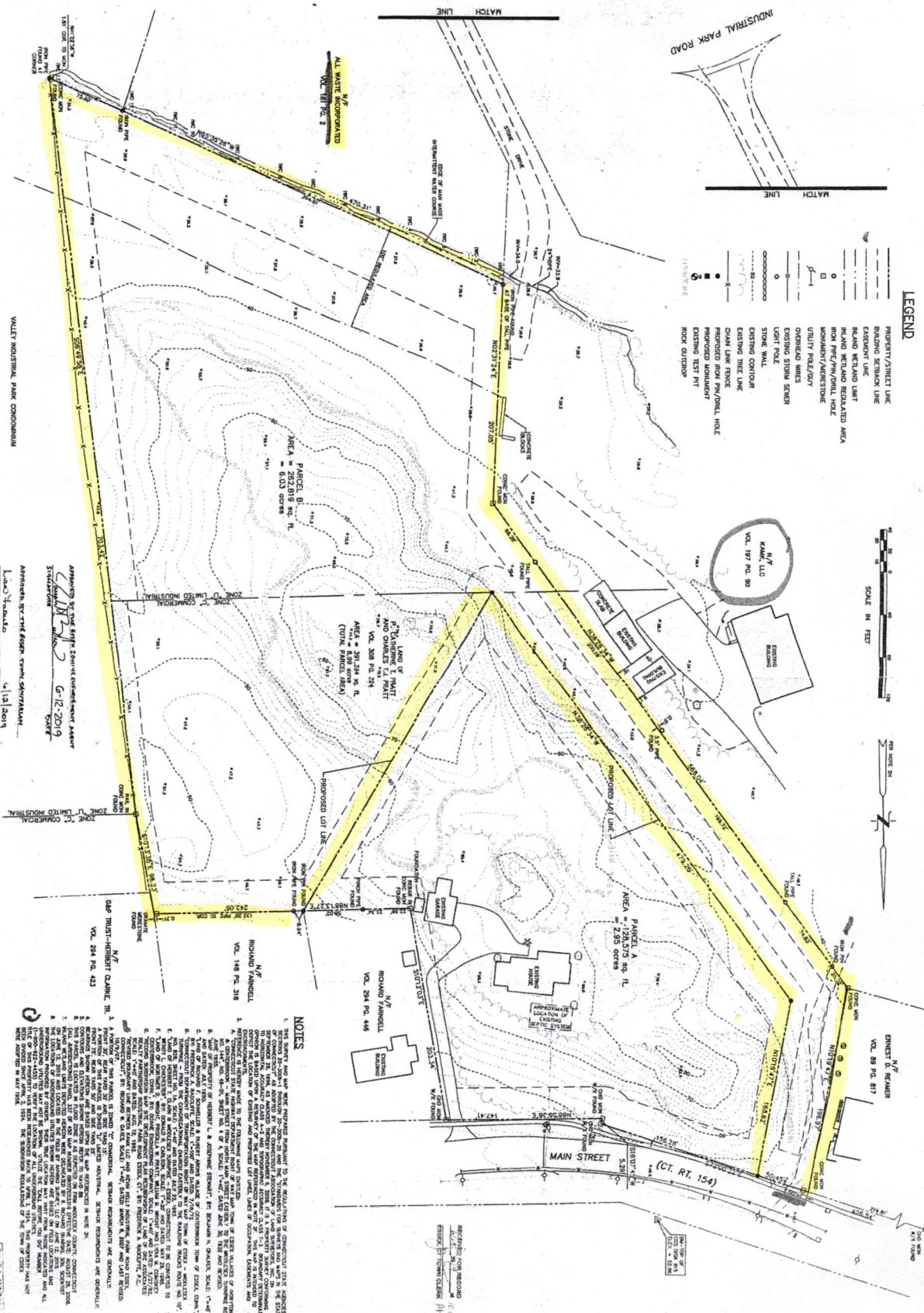
There will not be any buildings constructed on this portion of the property. Further, there will not be any refueling or cleaning of vehicles performed on this portion of the property.







- LEGEND**
- PROPERTY/STREET LINE
  - BUILDING SETBACK LINE
  - EXISTING LOT LINES
  - PROPOSED LOT LINES
  - IRON PIPE/PIVOT HOLE
  - MONUMENT/ADJUSTMENT
  - UTILITY POLE/PIPE
  - OVERHEAD WIRE
  - EXISTING STORM SEWER
  - LIGHT POLE
  - STONE WALL
  - EXISTING CONTOUR
  - EXISTING TREE LINE
  - CHAIN LINK FENCE
  - PROPOSED IRON PIPE/PIVOT HOLE
  - PROPOSED STORM SEWER
  - EXISTING BEST PIT
  - ROCK OUTCROP



APPROVED BY: [Signature]  
 DATE: 6-12-2019  
 PROJECT: [Project Name]

APPROVED BY: [Signature]  
 DATE: [Date]

**NOTES**

1. THIS SURVEY AND MAP HAVE BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CONNECTICUT STATE STATUTES...
2. THE PROPERTY LINES SHOWN ON THIS MAP ARE BASED ON THE SURVEY DATA PROVIDED BY THE CLIENT...
3. THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT...
4. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
5. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
6. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
7. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
8. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
9. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...
10. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS DISCREPANCIES...

<p><b>PROPERTY SURVEY</b>          SHOWING FIRST DIVISION OF          LAND OF P. CATHERINE T. PRATT AND CHARLES T.J. PRATT          60 MAIN STREET          VILLAGE OF CENTERBROOK, ESSEX, CONNECTICUT</p>		<p>TO MY KNOWLEDGE AND BELIEF THIS MAP IS          SUBSTANTIALLY CORRECT AS NOTED HEREON.</p> <p><i>[Signature]</i>          DAVID A. ANNINO, LS 70128          DATE: 5/15/2019</p>	<p><b>ANNINO SURVEY, LLC</b>          222 OLD BOSTON POST ROAD, SUITE 3          OLD SAYBROOK, CT 06475          PHONE/FAX: (860) 388-2068          ANNINOSURVEY@ATT.NET</p>
NO.	DATE	DESCRIPTION	BY

17 INDUSTRIAL PARK RD CONDOS LLC  
PO BOX 250  
ESSEX, CT 06426

ALL WASTE INCORPORATED  
143 MURPHY RD  
HARTFORD, CT 061142104

FARDELL RICHARD  
46 MAIN ST  
CENTERBROOK, CT 06409

DEMCO LLC  
PO BOX 354  
CENTERBROOK, CT 06409

DEMCO LLC  
PO BOX 354  
CENTERBROOK, CT 06409

R & K PROPERTIES LLC  
6 GERARD AVE  
WESTBROOK, CT 06498

FARDELL RICHARD  
46 MAIN ST  
CENTERBROOK, CT 06409

K BROTHERS LLC  
2138 SILAS DEANE HIGHWAY  
ROCKY HILL, CT 06067

KAMK LLC  
PO BOX 275  
CENTERBROOK, CT 06409

REAMER ERNEST D & LINDA M  
17 HILLTOP AVE  
ESSEX, CT 06426

REAMER ERNEST DMD  
PO BOX 222  
CENTERBROOK, CT 06409

CENTERBROOK PROPERTIES LLC  
P.O. BOX 354  
CENTERBROOK, CT 06409

CENTERBROOK PROPERTIES LLC  
P.O. BOX 354  
CENTERBROOK, CT 06409

COLLINS TIMOTHY A & MARYKATE FONTAINE  
60 MAIN ST CTBK  
CENTERBROOK, CT 06409

G & P TRUST  
PO BOX 995  
ESSEX, CT 06426

6 INDUSTRIAL LLC  
7190 SE FEDERAL HWY STE #8  
STUART, FL 34997