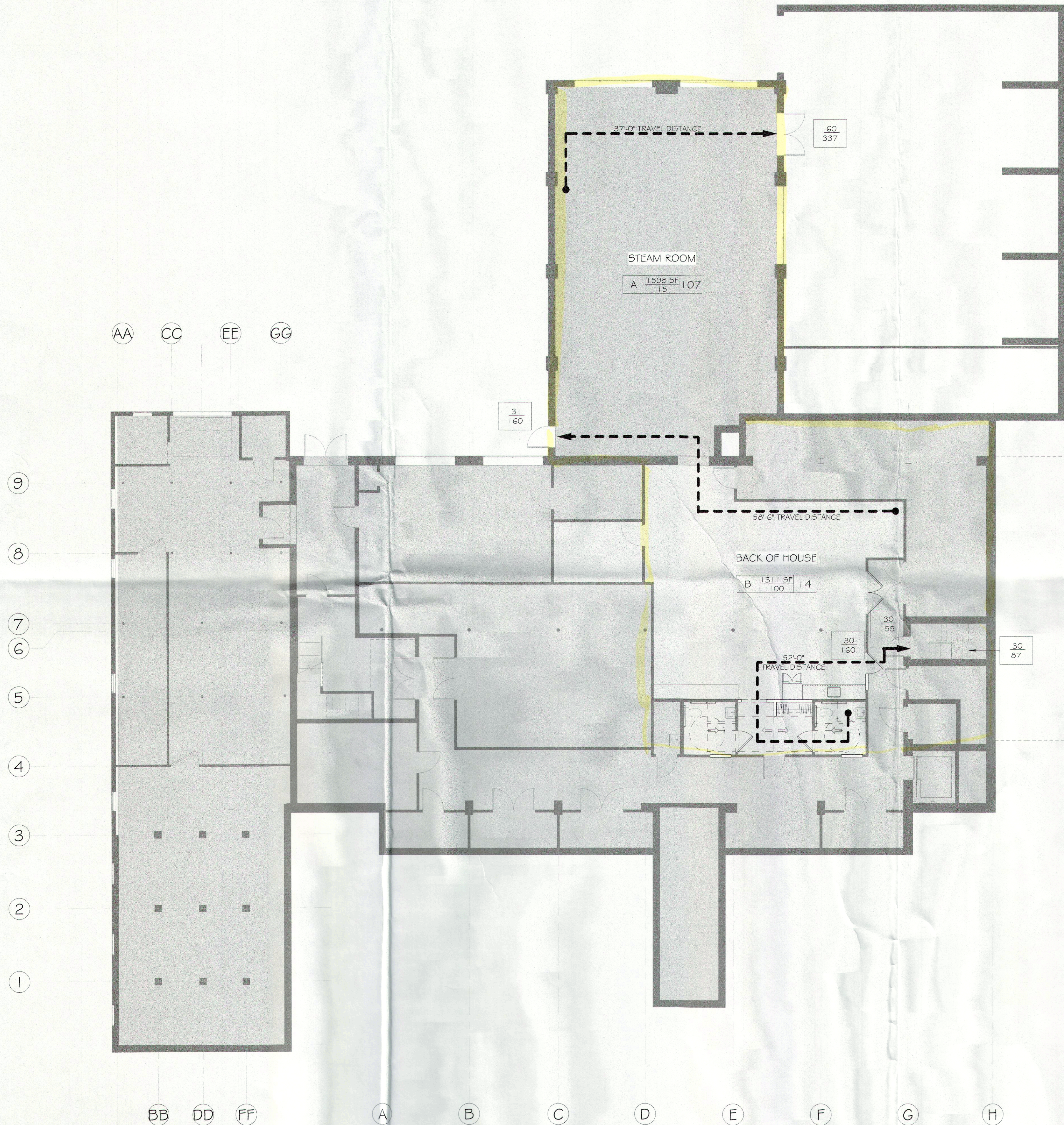


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I BASEMENT PLAN
1/8" = 1'-0"

LEGEND

- PATH OF TRAVEL
- EXISTING CONSTRUCTION, N.I.C.
- OCCUPANT LOAD SERVED
- EGRESS COMPONENT CAPACITY
- AREA NAME
- OCCUPANT LOAD FACTOR
- OCCUPANT LOAD
- OCCUPANT LOAD FACTOR
- FUNCTION OF SPACE

OCCUPANT LOAD

SPACE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	AREA	OCCUPANT LOAD
STEAM ROOM	ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	1,596 SF	107
BACK OF HOUSE	BUSINESS AREAS	100 GROSS	1,016 SF	14
			TOTAL	121

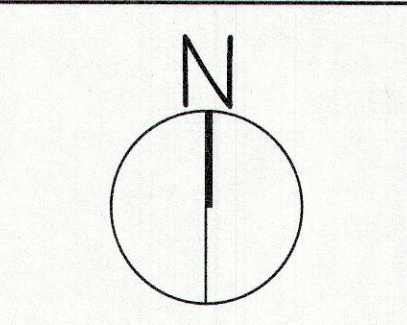
EGRESS WIDTH

MEANS OF EGRESS COMPONENT	WIDTH FACTOR	OCCUPANT LOAD SERVED	WIDTH REQUIRED	WIDTH PROVIDED
STAIRWAYS	0.3 INCH / OCCUPANT	30	9"	28"
DOORS (AND OTHER COMPONENTS)	0.2 INCH / OCCUPANT	121	24.2"	652"

PLUMBING FIXTURES

OCCUPANCY	WATER CLOSETS		LAVATORIES	OTHER
	M	F		
A-2 (BANQUET)	1 PER 75	1 PER 75	1 PER 200	1 SERVICE SINK
B (BUSINESS)	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50		1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1 SERVICE SINK
TOTAL REQUIRED	0.99	0.99	0.69	1
PROVIDED	1 ^A	1 ^A	2 ^B	1

NOTES 107
^A ONE FIXTURE PROVIDED AT BASEMENT LEVEL, TWO ADDITIONAL FIXTURES PER SEX PROVIDED AT LEVEL ABOVE
^B TWO FIXTURES PROVIDED AT BASEMENT LEVEL, FOUR ADDITIONAL FIXTURES PROVIDED AT LEVEL ABOVE



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**WITCH HAZEL WORKS
 BUILDING 1**
 6 MAIN STREET
 CENTERBROOK, CT 06409

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DRAWN BY: SHA
 CHECKED BY: RC
 DATE: APRIL 7, 2022

REVISIONS:

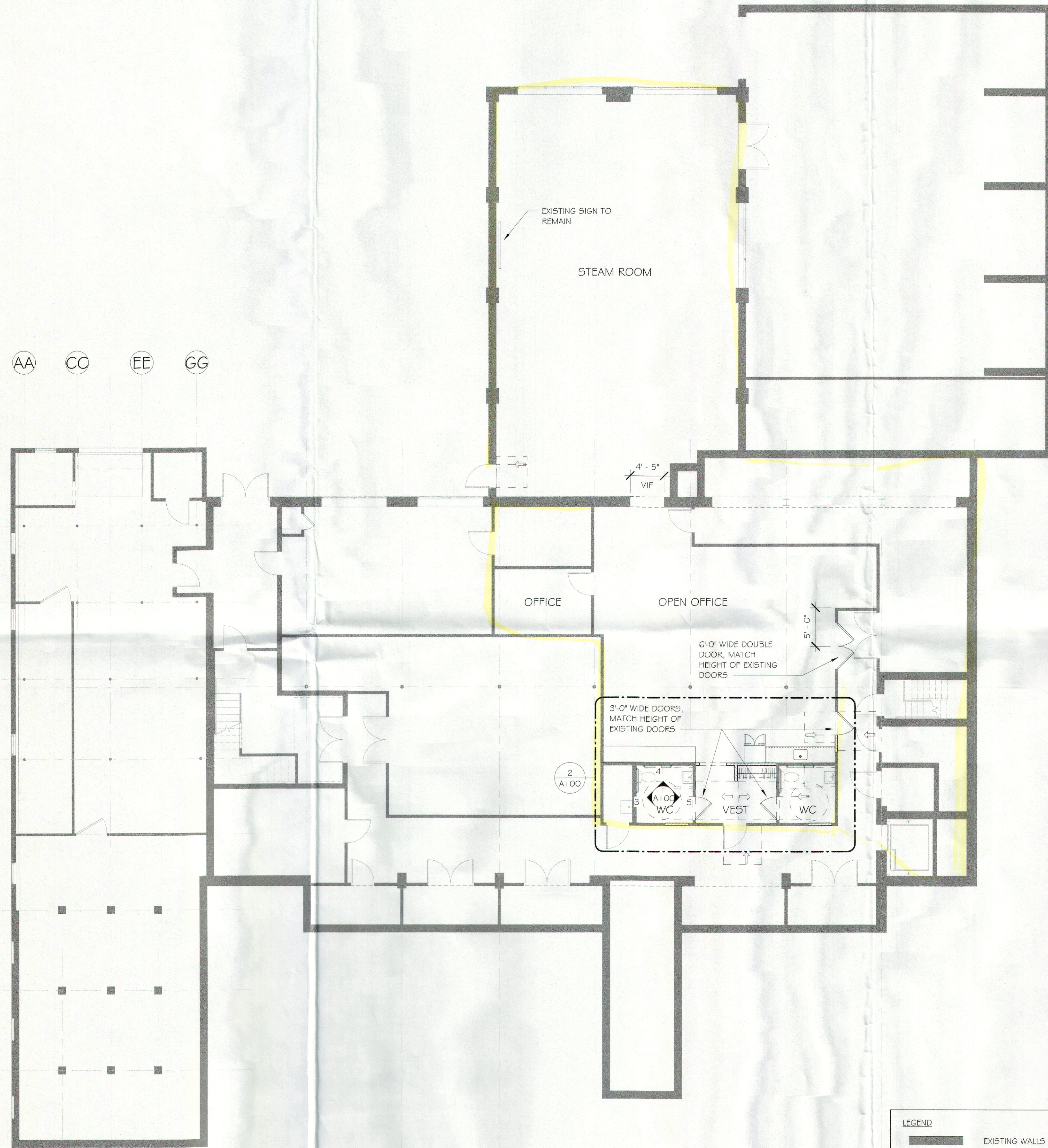
**BASEMENT CODE
 PLAN**

G100

File Copy #22-21

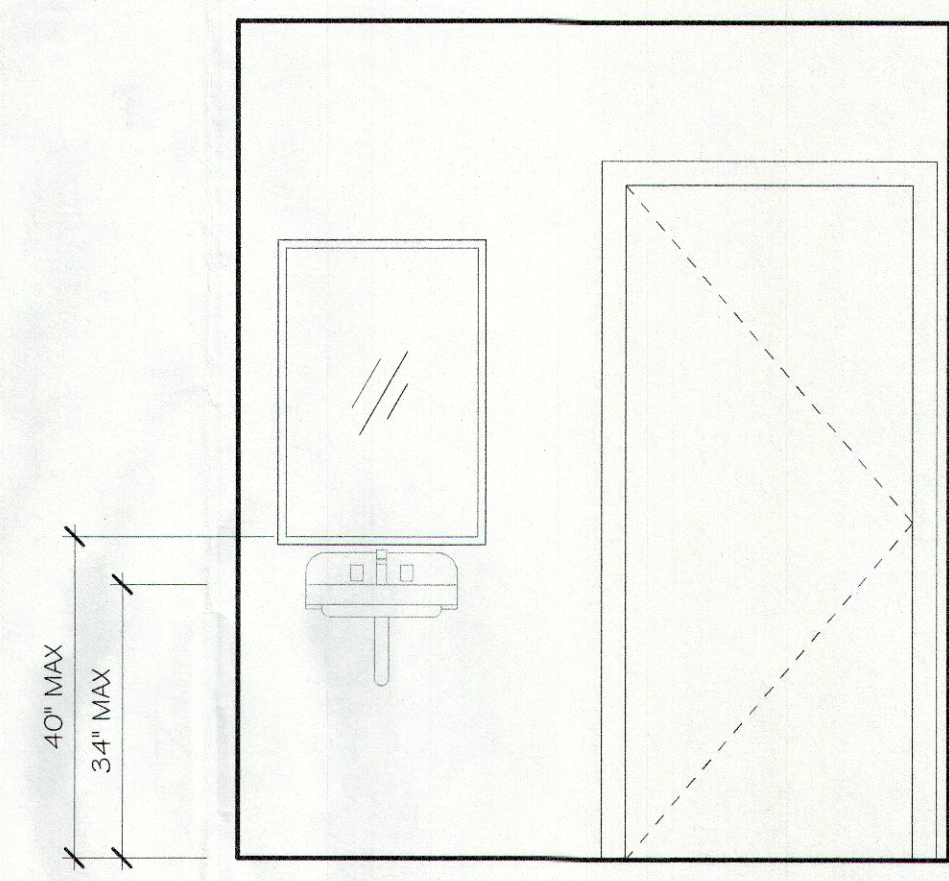
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9
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AA CC EE GG
BB DD FF A B C D E F G H

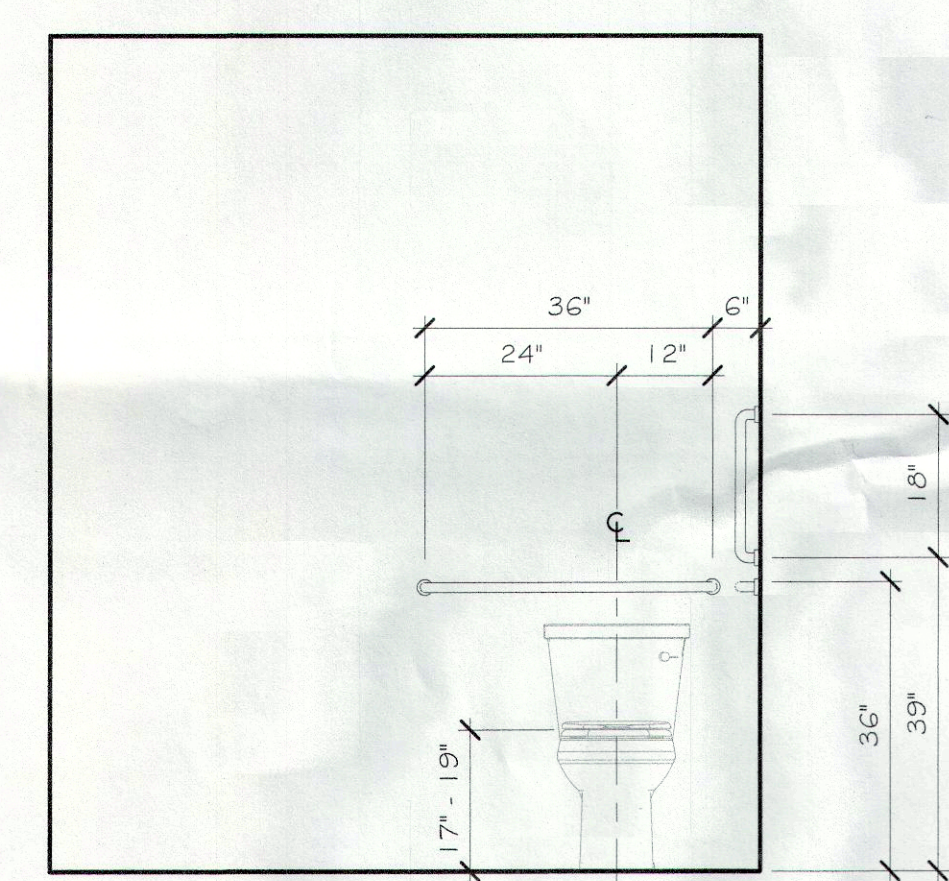


1 BASEMENT PLAN
1/8" = 1'-0"

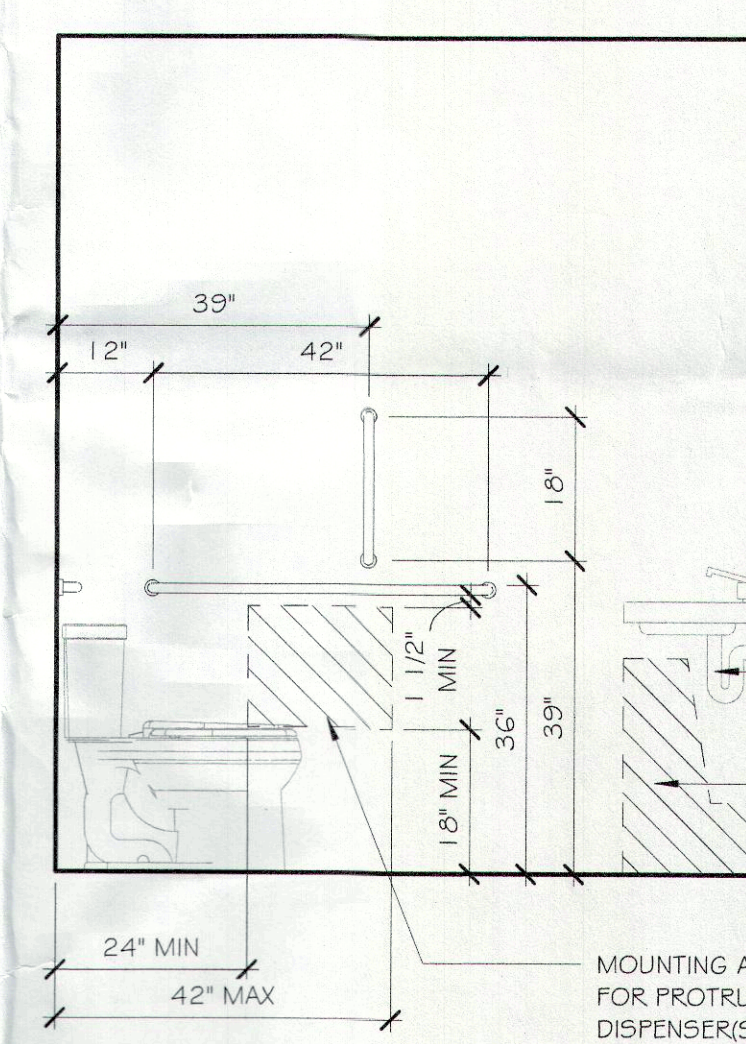
LEGEND
EXISTING WALLS
NEW WALLS



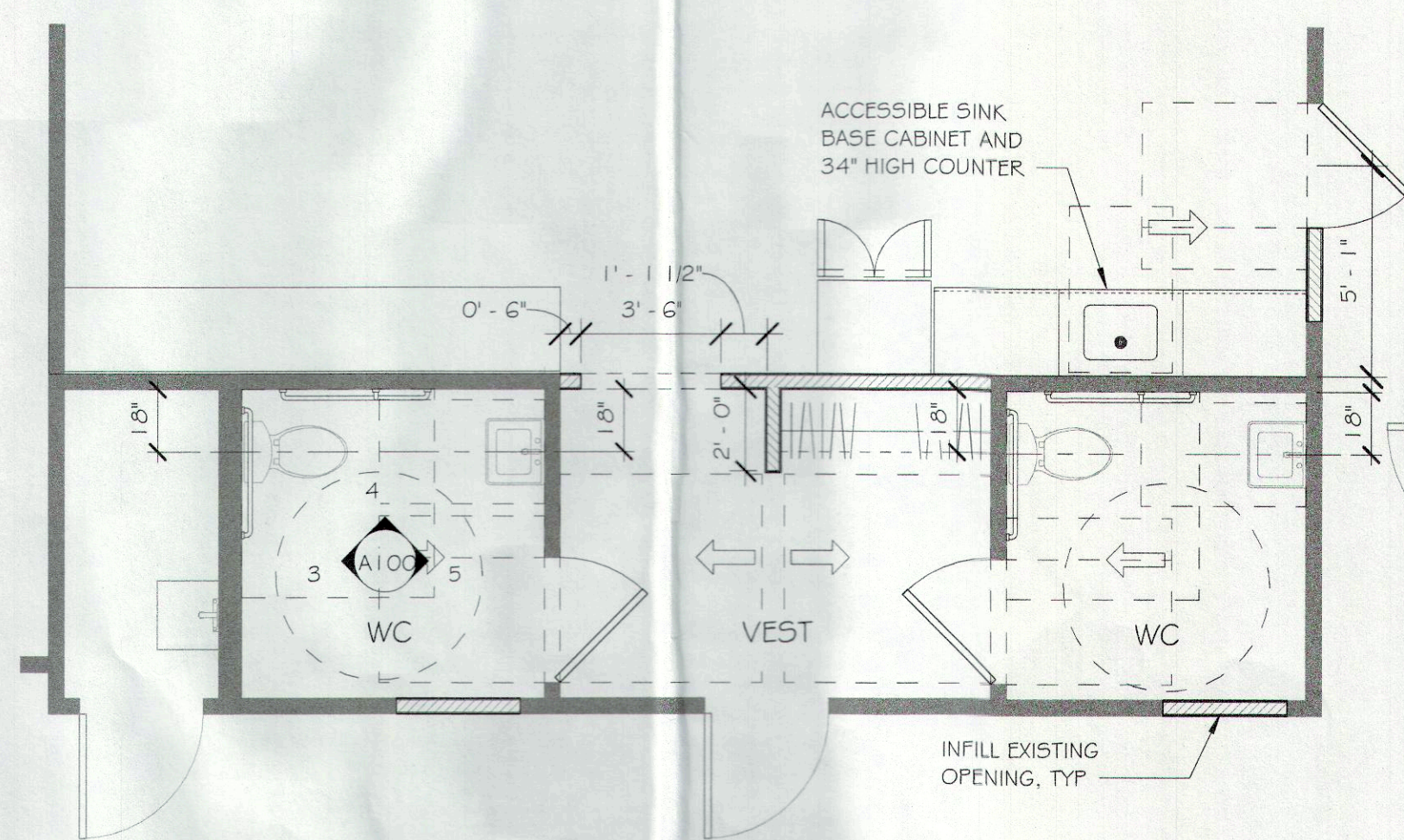
5 TYPICAL WC FRONT WALL ELEVATION
1/2" = 1'-0"



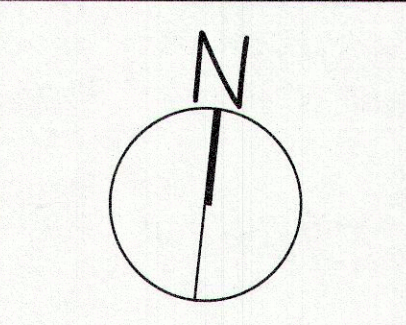
3 TYPICAL WC REAR WALL ELEVATION
1/2" = 1'-0"



4 TYPICAL WC SIDE WALL ELEVATION
1/2" = 1'-0"



2 ENLARGED PLAN
1/4" = 1'-0"



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WITCH HAZEL WORKS
BUILDING 1
6 MAIN STREET
CENTERBROOK, CT 06409

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DRAWN BY: SHA / LT
CHECKED BY: RTC
DATE: APRIL 7, 2022

REVISIONS:

WHW FLOOD REPAIRS
AND REMEDIATION

A100

File Copy #22-21

ZONING REVIEW			
ZONING REGULATIONS OF THE TOWN OF ESSEX		TAX MAP NO. 33 TAX LOT NO. 28 ZONE: HG-1, FORMERLY CML	
STANDARDS	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	90,000 SQ FT	8.52 ACRES = 371,131.20 SQ FT	NO CHANGE
BUILDING COVERAGE	20% MAX = 74,226.24 SQ FT	27,827 SQ FT = 7.5%	28,206 SQ FT = 7.6%
LOT COVERAGE	65% MAX = 241,235.28 SQ FT	114,890 SQ FT = 31%	113,746 SQ FT = 30.6%
BUILDING HEIGHT	35 FT	18 FT +/-	NO CHANGE
SETBACK	30 FT	16 FT +/-	NO CHANGE

COVERAGE CALCULATIONS		
	EXISTING	PROPOSED
BUILDING 01 - OFFICE USE	11,481 SQ FT	11,481 SQ FT, NO CHANGE
BUILDING 02 - OFFICE USE	1,751 SQ FT	1,751 SQ FT, NO CHANGE
BUILDING 03	12,606 SQ FT	12,985 SQ FT
UTILITY SHEDS TOTAL	1,989 SQ FT	1,989 SQ FT, NO CHANGE
	(1,223 SQ FT)	NO CHANGE
	(301 SQ FT)	NO CHANGE
	(204 SQ FT)	NO CHANGE
	(193 SQ FT)	NO CHANGE
	(68 SQ FT)	NO CHANGE
BUILDING COVERAGE TOTAL	27,827 SQ FT	28,206 SQ FT
PARKING, DRIVES & WALKS	87,063 SQ FT	85,540 SQ FT
LOT COVERAGE TOTAL	114,890 SQ FT	113,746 SQ FT
PHASE 2 PARKING EXPANSION		112,848 SQ FT
PHASE 2 LOT COVERAGE TOTAL		141,054 SQ FT

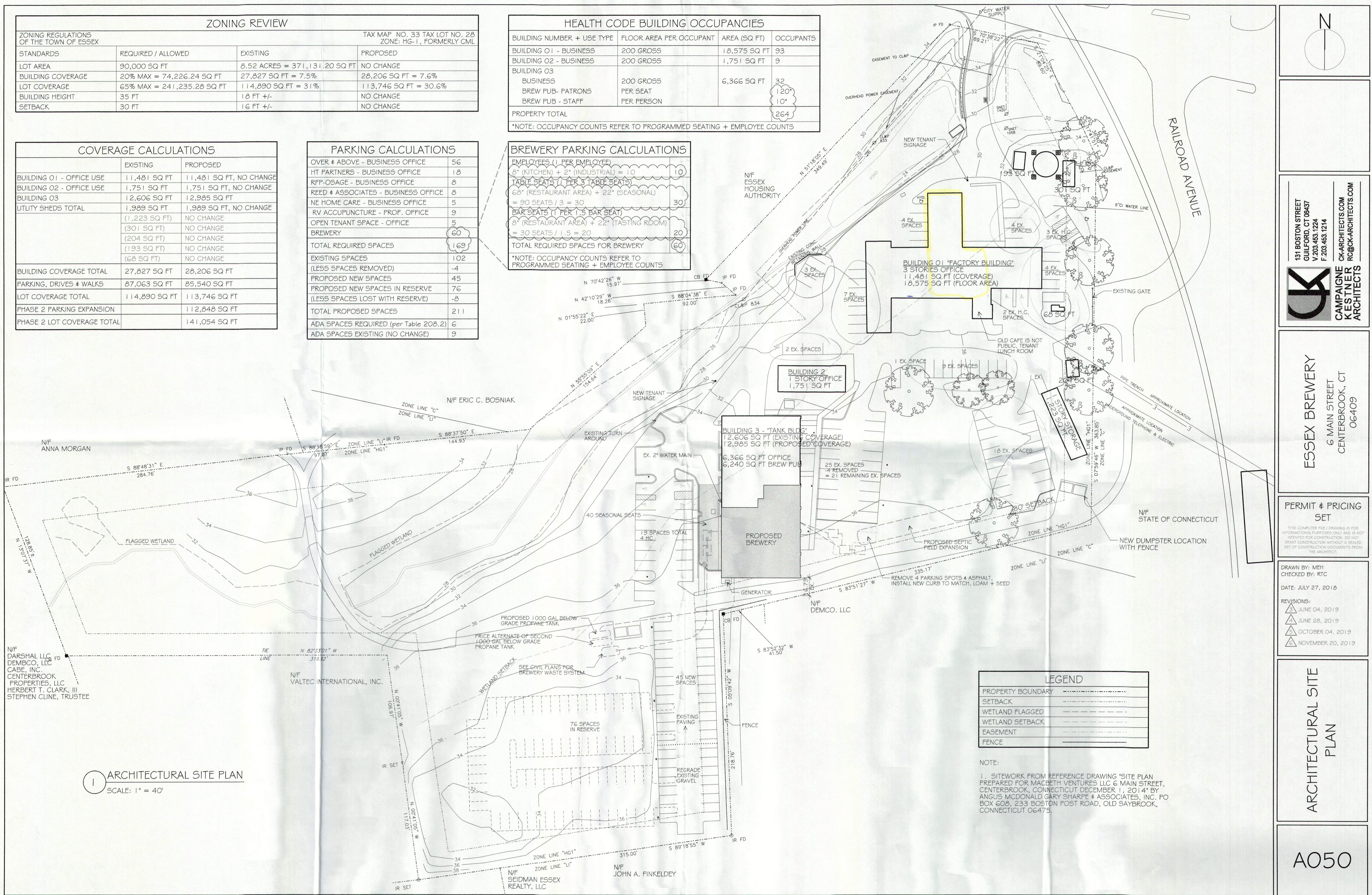
PARKING CALCULATIONS	
OVER # ABOVE - BUSINESS OFFICE	56
HT PARTNERS - BUSINESS OFFICE	18
RFP-OSAGE - BUSINESS OFFICE	8
REED & ASSOCIATES - BUSINESS OFFICE	8
NE HOME CARE - BUSINESS OFFICE	5
RV ACCUPUNCTURE - PROF. OFFICE	9
OPEN TENANT SPACE - OFFICE	5
BREWERY	60
TOTAL REQUIRED SPACES	169
EXISTING SPACES	102
(LESS SPACES REMOVED)	-4
PROPOSED NEW SPACES	45
PROPOSED NEW SPACES IN RESERVE	76
(LESS SPACES LOST WITH RESERVE)	-8
TOTAL PROPOSED SPACES	211
ADA SPACES REQUIRED (per Table 208.2)	6
ADA SPACES EXISTING (NO CHANGE)	9

HEALTH CODE BUILDING OCCUPANCIES			
BUILDING NUMBER + USE TYPE	FLOOR AREA PER OCCUPANT	AREA (SQ FT)	OCCUPANTS
BUILDING 01 - BUSINESS	200 GROSS	18,575 SQ FT	93
BUILDING 02 - BUSINESS	200 GROSS	1,751 SQ FT	9
BUILDING 03			
BUSINESS	200 GROSS	6,366 SQ FT	32
BREW PUB- PATRONS	PER SEAT		120
BREW PUB - STAFF	PER PERSON		10
PROPERTY TOTAL			264

*NOTE: OCCUPANCY COUNTS REFER TO PROGRAMMED SEATING + EMPLOYEE COUNTS

BREWERY PARKING CALCULATIONS	
EMPLOYEES (1 PER EMPLOYEE)	
8* (KITCHEN) + 2* (INDUSTRIAL) = 10	10
TABLE SEATS (1 PER 3 TABLE SEATS)	
68* (RESTAURANT AREA) + 22* (SEASONAL)	
= 90 SEATS / 3 = 30	30
BAR SEATS (1 PER 1.5 BAR SEAT)	
8* (RESTAURANT AREA) + 22* (TASTING ROOM)	
= 30 SEATS / 1.5 = 20	20
TOTAL REQUIRED SPACES FOR BREWERY	60

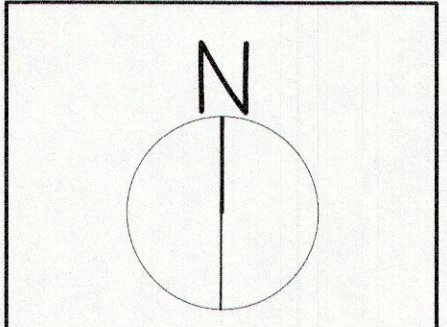
*NOTE: OCCUPANCY COUNTS REFER TO PROGRAMMED SEATING + EMPLOYEE COUNTS



LEGEND	
PROPERTY BOUNDARY	---
SETBACK	---
WETLAND FLAGGED	---
WETLAND SETBACK	---
EASEMENT	---
FENCE	---

NOTE:
1. SITWORK FROM REFERENCE DRAWING "SITE PLAN PREPARED FOR MACBETH VENTURES LLC 6 MAIN STREET, CENTERBROOK, CONNECTICUT DECEMBER 1, 2014" BY ANGUS MCDONALD GARY SHARPE & ASSOCIATES, INC. PO BOX 608, 233 BOSTON POST ROAD, OLD SAYBROOK, CONNECTICUT 06475.

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 40'



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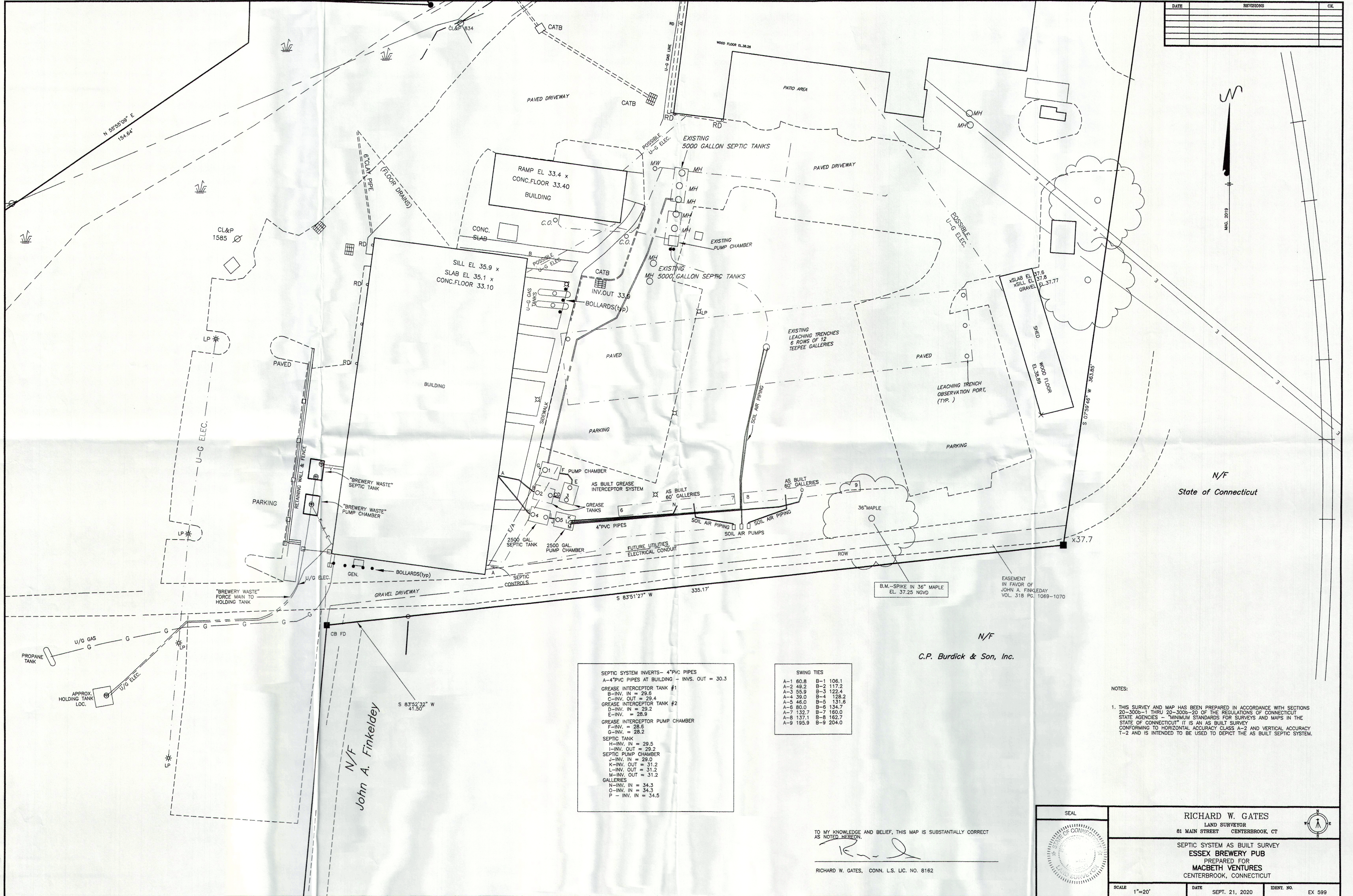
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DRAWN BY: MEH
CHECKED BY: RTC
DATE: JULY 27, 2018
REVISIONS:
3 JUNE 04, 2019
4 JUNE 28, 2019
5 OCTOBER 04, 2019
6 NOVEMBER 20, 2019

ARCHITECTURAL SITE PLAN

A050

DATE	REVISIONS	CK.



N/F
State of Connecticut

N/F
C.P. Burdick & Son, Inc.

SEPTIC SYSTEM INVERTS - 4" PVC PIPES
A-4" PVC PIPES AT BUILDING + INVS. OUT = 30.3

GREASE INTERCEPTOR TANK #1	B-INV. IN = 29.6	H-INV. IN = 29.0
C-INV. OUT = 29.4	GREASE INTERCEPTOR TANK #2	D-INV. IN = 29.2
E-INV. = 28.9	GREASE INTERCEPTOR PUMP CHAMBER	F-INV. = 28.6
G-INV. = 28.2	SEPTIC TANK	H-INV. IN = 29.5
I-INV. OUT = 29.2	SEPTIC PUMP CHAMBER	J-INV. IN = 29.0
K-INV. OUT = 31.2	L-INV. OUT = 31.2	M-INV. OUT = 31.2
GALLERIES	N-INV. IN = 34.3	O-INV. IN = 34.3
P - INV. IN = 34.5		

SWING TIES

A-1 60.8	B-1 106.1
A-2 49.2	B-2 117.2
A-3 55.9	B-3 122.4
A-4 39.0	B-4 128.2
A-5 46.0	B-5 131.6
A-6 60.0	B-6 134.7
A-7 132.7	B-7 180.0
A-8 137.1	B-8 182.7
A-9 195.9	B-9 204.0

NOTES:
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT. IT IS AN AS BUILT SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY T-2 AND IS INTENDED TO BE USED TO DEPICT THE AS BUILT SEPTIC SYSTEM.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
[Signature]
RICHARD W. GATES, CONN. L.S. LIC. NO. 8162

	RICHARD W. GATES LAND SURVEYOR 81 MAIN STREET CENTERBROOK, CT
	SEPTIC SYSTEM AS BUILT SURVEY ESSEX BREWERY PUB PREPARED FOR MACBETH VENTURES CENTERBROOK, CONNECTICUT
SCALE: 1"=20' DATE: SEPT. 21, 2020 IDENT. NO.: EX 599	

P:\Users\RDG\OneDrive\Documents\ESSEX BREWERY PUB\ESSEX BREWERY PUB.dwg, 2/6/2021, 10:38:41 AM