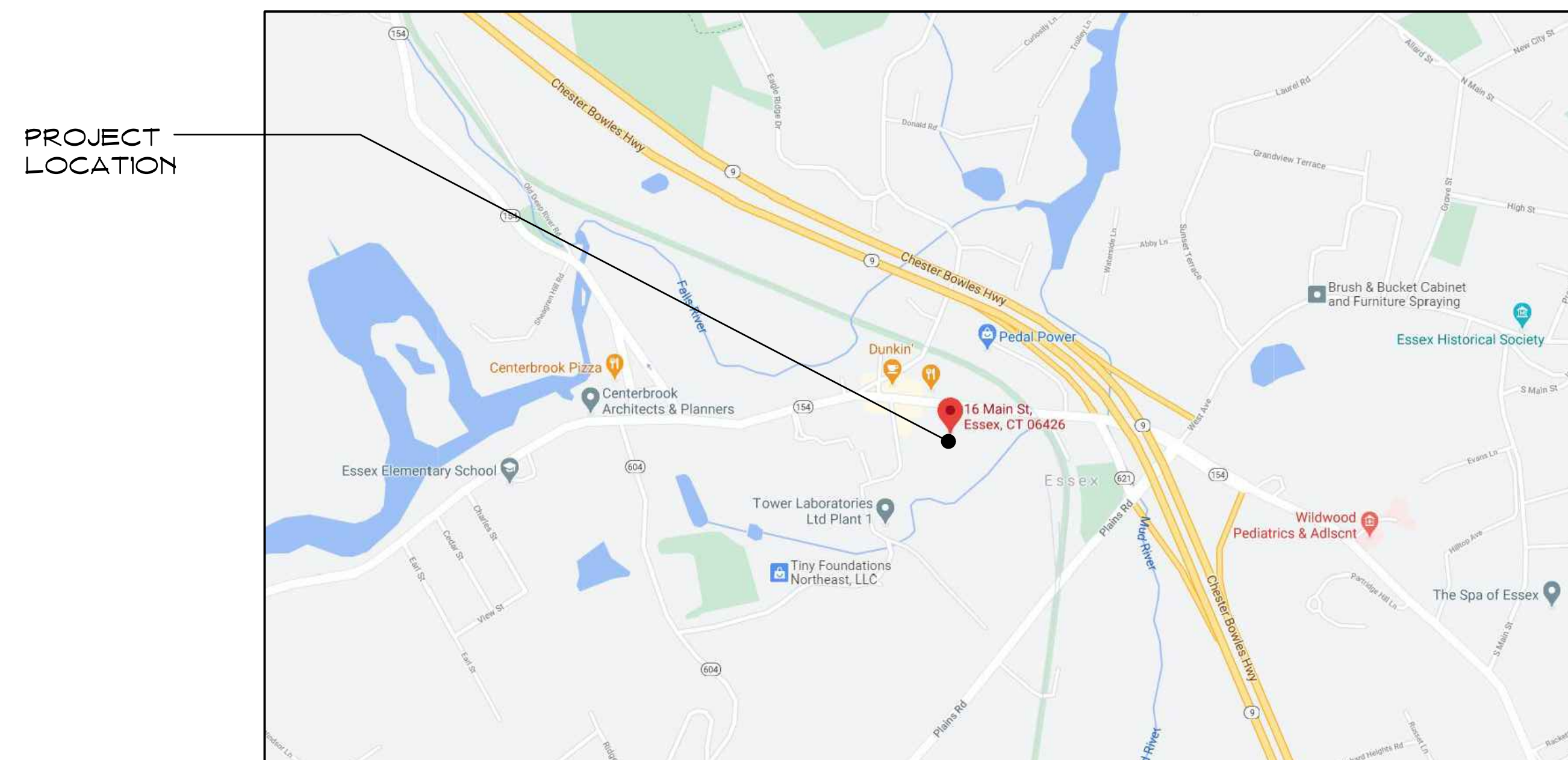


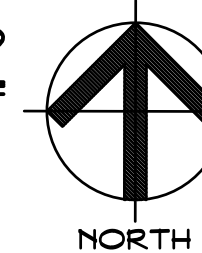
Essex Housing Authority

# Renovations at Essex Court

16 Main Street  
Centerbrook, Connecticut 06409



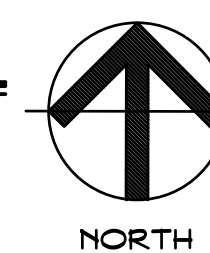
SITE LOCATION MAP  
SCALE: NONE



PROJECT LOCATION - ESSEX  
COURT (COMMUNITY CENTER  
AND APARTMENTS)



SATELLITE VIEW  
SCALE: NONE



Janice M. Atkeson - Chair  
Yolanda Lowe - Member  
Richard W. Stebbins - Member  
Rosemary A. Willis - Member  
Gary Arnhold - Member

BID DOCUMENTS



SILVER / PETRUCELLI + ASSOCIATES

*Architects / Engineers / Interior Designers*

3190 Whitney Avenue, Hamden, CT 06518-2340

One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

[silverpetrucelli.com](http://silverpetrucelli.com)



September 16, 2022



ABBREVIATIONS		SYMBOL LEGEND		GRAPHIC LEGEND		LIST OF DRAWINGS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
<table><tr><td>AB.</td><td>ANCHOR BOLT</td><td>FDN.</td><td>FOUNDATION</td><td>P.C.B.</td><td>PAINTED CONCRETE BLOCK</td></tr><tr><td>A.C.P.</td><td>ASBESTOS CEMENT PIPE</td><td>FF.</td><td>FINISHED FLOOR</td><td>P.G.B.</td><td>PAINTED GYPSUM BOARD</td></tr><tr><td>ADJ.</td><td>ADJUSTABLE</td><td>FN.</td><td>FINISH, FINISHED</td><td>P.</td><td>PLATE</td></tr><tr><td>A.F.F.</td><td>ABOVE FINISH FLOOR</td><td>FXT.</td><td>FIXTURE</td><td>PLUMB.</td><td>PLUMBING</td></tr><tr><td>A.C.T.</td><td>ACOUSTICAL CEILING TILE</td><td>FL.</td><td>FLOOR</td><td>PLYWD.</td><td>PLYWOOD</td></tr><tr><td>ALUM.</td><td>ALUMINUM</td><td>FT.</td><td>FOOT</td><td>PREP.</td><td>PREPARATION</td></tr><tr><td>APPROX.</td><td>APPROXIMATE</td><td>F.S.</td><td>FAR SIDE</td><td>P.T.</td><td>PRESSURE TREATED</td></tr><tr><td>ARCH.</td><td>ARCHITECTURAL</td><td>FTG.</td><td>FOOTING</td><td>PTD.</td><td>PAINTED</td></tr><tr><td>ASPH.</td><td>ASPHALT</td><td></td><td></td><td>P.V.C.</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>AVG.</td><td>AVERAGE</td><td></td><td></td><td></td><td></td></tr><tr><td>BBMT.</td><td>BASEMENT</td><td>G</td><td>GAS</td><td>R</td><td>RISER</td></tr><tr><td>BD.</td><td>BOARD</td><td>GA.</td><td>GAGE, GAUGE</td><td>RAD.</td><td>RADIUS</td></tr><tr><td>BRG.</td><td>BEARING</td><td>GEN.</td><td>GENERAL</td><td>R.C.P.</td><td>REINFORCED CONCRETE PIPE</td></tr><tr><td>BRK.</td><td>BRICK</td><td>G.C.</td><td>GENERAL CONTRACTOR</td><td>R.D.</td><td>ROOF DRAIN</td></tr><tr><td>BIT.</td><td>BITUMINOUS</td><td>GYP.</td><td>GYPSUM</td><td>RENF.</td><td>REINFORCEMENT</td></tr><tr><td>BLK.</td><td>BLOCK</td><td>GYP. BD.</td><td>GYPSUM BOARD</td><td>REQD.</td><td>REQUIRED</td></tr><tr><td>BLDG.</td><td>BUILDING</td><td>H.C.</td><td>HANDICAPPED</td><td>R.H.</td><td>ROOF HATCH</td></tr><tr><td>B.S.</td><td>BOTH SIDES</td><td>HD.</td><td>HEADED</td><td>R.L.</td><td>ROOF LEADER</td></tr><tr><td></td><td></td><td>HDWR.</td><td>HARDWARE</td><td>RM.</td><td>ROOM</td></tr><tr><td></td><td></td><td>HGT.</td><td>HEIGHT</td><td>S</td><td>STORM</td></tr><tr><td>C.I.</td><td>CAST IRON</td><td>H.P.</td><td>HIGH POINT</td><td>SAN.</td><td>SANITARY</td></tr><tr><td>C.I.P.</td><td>CAST IN PLACE CONCRETE</td><td>H.M.</td><td>HOLLOW METAL</td><td>S.C.</td><td>SEALED CONCRETE</td></tr><tr><td>C.B.</td><td>CATCH BASIN</td><td>HORIZ.</td><td>HORIZONTAL, HORIZONTALLY</td><td>SCHED.</td><td>SCHEDULE</td></tr><tr><td>C.B.R.</td><td>CATCH BASIN TO BE REMOVED</td><td>H.B.</td><td>HOSE BIBB</td><td>SECT.</td><td>SECTION</td></tr><tr><td>CLG.</td><td>CEILING</td><td>H.R.</td><td>HOSE</td><td>SECT. FOOTING</td><td>SECTION</td></tr><tr><td>C.</td><td>CHALK BOARD</td><td>HYD.</td><td>HYDRANT</td><td>SECT. SIMILAR</td><td>SECTION</td></tr><tr><td>C. BD.</td><td>CURB CUT</td><td></td><td></td><td>S.O.G.</td><td>SLAB ON GRADE</td></tr><tr><td>C.O.</td><td>CLEAN OUT</td><td>INSUL.</td><td>INSULATION, INSULATED</td><td>SPEC.</td><td>SPECIFICATIONS</td></tr><tr><td>COL.</td><td>COLUMN</td><td>INT.</td><td>INTERIOR</td><td>SQ.</td><td>SQUARE</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>INV.</td><td>INVERT</td><td>SQ. FT.</td><td>SQUARE FEET</td></tr><tr><td>CONF.</td><td>CONFERENCE</td><td></td><td></td><td>STL.</td><td>STEEL</td></tr><tr><td>C.M.U.</td><td>CONCRETE MASONRY UNIT</td><td>JAN.</td><td>JANITOR</td><td>STRUCT.</td><td>STRUCTURAL</td></tr><tr><td>CONT.</td><td>CONTINUOUS, CONTINUE</td><td>K.P.</td><td>KICK PLATE</td><td>SUSP.</td><td>SUSPENDED, SUSPENSION</td></tr><tr><td>C.J.</td><td>CONTROL JOINT/</td><td></td><td></td><td>SW.</td><td>SHEAR WALL</td></tr><tr><td></td><td>CONSTRUCTION JOINT</td><td></td><td></td><td>S.W.F.</td><td>SHEAR WALL FOOTING</td></tr><tr><td>CONTR.</td><td>CONTRACTOR</td><td></td><td></td><td></td><td></td></tr><tr><td>DET.</td><td>DETAIL</td><td>LAM.</td><td>LAMINATE</td><td>T.</td><td>TELEPHONE</td></tr><tr><td>DIA.</td><td>DIAMETER</td><td>L.F.</td><td>LAMINATE LINEAL FOOT</td><td>T&amp;B</td><td>TOP &amp; BOTTOM</td></tr><tr><td>DM.</td><td>DIMENSION</td><td>LG.</td><td>LONG</td><td>TECH.</td><td>TECHNOLOGY</td></tr><tr><td>DR.</td><td>DOOR</td><td>LOC.</td><td>LOCATION</td><td>T.O.</td><td>TOP OF</td></tr><tr><td>DN.</td><td>DOWN</td><td>L.P.</td><td>LOW POINT</td><td>T.O.F.</td><td>TOP OF FRAME</td></tr><tr><td>DWG.</td><td>DRAWING</td><td>LTG.</td><td>LIGHTING</td><td>T.O.S.</td><td>TOP OF STEEL</td></tr><tr><td></td><td></td><td></td><td></td><td>T/S</td><td>TOP OF SLAB</td></tr><tr><td></td><td></td><td></td><td></td><td>T/W</td><td>TOP OF WALL</td></tr><tr><td></td><td></td><td></td><td></td><td>TYP.</td><td>TYPICAL</td></tr><tr><td>E</td><td>ELECTRICAL</td><td></td><td></td><td>U.O.N.</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td>EA.</td><td>EACH</td><td>MAS.</td><td>MASONRY</td><td></td><td></td></tr><tr><td>ECTR.</td><td>EXISTING CEILING TO REMAIN</td><td>MAX.</td><td>MAXIMUM</td><td>V.B.</td><td>VINYL BASE</td></tr><tr><td>ED.</td><td>EDUCATION</td><td>MECH.</td><td>MECHANICAL</td><td>V.G.T.</td><td>VINYL COMPOSITE TILE</td></tr><tr><td>ELEC.</td><td>ELECTRICAL</td><td>M.H.</td><td>MANHOLE</td><td>VERT.</td><td>VERTICAL</td></tr><tr><td>E.F.</td><td>EACH FACE</td><td>MIN.</td><td>MINIMUM</td><td>V.I.F.</td><td>VERIFY IN FIELD</td></tr><tr><td>E.J.</td><td>EXPANSION JOINT</td><td>MISC.</td><td>MISCELLANEOUS</td><td></td><td></td></tr><tr><td>EL.</td><td>ELEVATION</td><td>M.O.</td><td>MASONRY OPENING</td><td>W.</td><td>WATER</td></tr><tr><td>ELEV.</td><td>ELEVATION</td><td>MTD.</td><td>MOUNTED</td><td>W/</td><td>WITH</td></tr><tr><td>EMER.</td><td>EMERGENCY</td><td></td><td></td><td>WCJ</td><td>WALL CONTROL JOINT</td></tr><tr><td>ENCL.</td><td>ENCLOSURE</td><td>N.A.</td><td>NOT APPLICABLE</td><td>WD.</td><td>WOOD</td></tr><tr><td>ENL.</td><td>ENLARGED</td><td>N.I.C.</td><td>NOT IN CONTRACT</td><td>WF.</td><td>WIDE FLANGE</td></tr><tr><td>ENT.</td><td>ENTRANCE</td><td>NO.</td><td>NUMBER</td><td>W.W.F.</td><td>WELDED WIRE FABRIC</td></tr><tr><td>EP.</td><td>EPOXY PAINT</td><td>NOM.</td><td>NOMINAL</td><td>W.W.M.</td><td>WELDED WIRE MESH</td></tr><tr><td>EQ.</td><td>EQUAL</td><td>N.S.</td><td>NEAR SIDE</td><td></td><td></td></tr><tr><td>ES.</td><td>EXPOSED STRUCTURE</td><td>N.T.S.</td><td>NOT TO SCALE</td><td></td><td></td></tr><tr><td>E.T.R.</td><td>EXISTING TO REMAIN</td><td></td><td></td><td></td><td></td></tr><tr><td>E.W.</td><td>EACH WAY</td><td>O.C.</td><td>ON CENTER</td><td></td><td></td></tr><tr><td>E.W./E.F.</td><td>EACH WAY/EACH FACE</td><td>O.C.G.</td><td>OCCUPANT</td><td></td><td></td></tr><tr><td>EXAM.</td><td>EXAMINATION</td><td>O.D.</td><td>OUTSIDE DIAMETER</td><td></td><td></td></tr><tr><td>EXIST.</td><td>EXISTING</td><td>OPNG.</td><td>OPENING</td><td>Ø</td><td>AT DIAMETER</td></tr><tr><td>EXP.</td><td>EXPANSION</td><td></td><td></td><td>Φ</td><td>DIAMETER</td></tr><tr><td>EXT.</td><td>EXTERIOR</td><td></td><td></td><td></td><td></td></tr></table>		AB.	ANCHOR BOLT	FDN.	FOUNDATION	P.C.B.	PAINTED CONCRETE BLOCK	A.C.P.	ASBESTOS CEMENT PIPE	FF.	FINISHED FLOOR	P.G.B.	PAINTED GYPSUM BOARD	ADJ.	ADJUSTABLE	FN.	FINISH, FINISHED	P.	PLATE	A.F.F.	ABOVE FINISH FLOOR	FXT.	FIXTURE	PLUMB.	PLUMBING	A.C.T.	ACOUSTICAL CEILING TILE	FL.	FLOOR	PLYWD.	PLYWOOD	ALUM.	ALUMINUM	FT.	FOOT	PREP.	PREPARATION	APPROX.	APPROXIMATE	F.S.	FAR SIDE	P.T.	PRESSURE TREATED	ARCH.	ARCHITECTURAL	FTG.	FOOTING	PTD.	PAINTED	ASPH.	ASPHALT			P.V.C.	POLYVINYL CHLORIDE	AVG.	AVERAGE					BBMT.	BASEMENT	G	GAS	R	RISER	BD.	BOARD	GA.	GAGE, GAUGE	RAD.	RADIUS	BRG.	BEARING	GEN.	GENERAL	R.C.P.	REINFORCED CONCRETE PIPE	BRK.	BRICK	G.C.	GENERAL CONTRACTOR	R.D.	ROOF DRAIN	BIT.	BITUMINOUS	GYP.	GYPSUM	RENF.	REINFORCEMENT	BLK.	BLOCK	GYP. BD.	GYPSUM BOARD	REQD.	REQUIRED	BLDG.	BUILDING	H.C.	HANDICAPPED	R.H.	ROOF HATCH	B.S.	BOTH SIDES	HD.	HEADED	R.L.	ROOF LEADER			HDWR.	HARDWARE	RM.	ROOM			HGT.	HEIGHT	S	STORM	C.I.	CAST IRON	H.P.	HIGH POINT	SAN.	SANITARY	C.I.P.	CAST IN PLACE CONCRETE	H.M.	HOLLOW METAL	S.C.	SEALED CONCRETE	C.B.	CATCH BASIN	HORIZ.	HORIZONTAL, HORIZONTALLY	SCHED.	SCHEDULE	C.B.R.	CATCH BASIN TO BE REMOVED	H.B.	HOSE BIBB	SECT.	SECTION	CLG.	CEILING	H.R.	HOSE	SECT. FOOTING	SECTION	C.	CHALK BOARD	HYD.	HYDRANT	SECT. SIMILAR	SECTION	C. BD.	CURB CUT			S.O.G.	SLAB ON GRADE	C.O.	CLEAN OUT	INSUL.	INSULATION, INSULATED	SPEC.	SPECIFICATIONS	COL.	COLUMN	INT.	INTERIOR	SQ.	SQUARE	CONC.	CONCRETE	INV.	INVERT	SQ. FT.	SQUARE FEET	CONF.	CONFERENCE			STL.	STEEL	C.M.U.	CONCRETE MASONRY UNIT	JAN.	JANITOR	STRUCT.	STRUCTURAL	CONT.	CONTINUOUS, CONTINUE	K.P.	KICK PLATE	SUSP.	SUSPENDED, SUSPENSION	C.J.	CONTROL JOINT/			SW.	SHEAR WALL		CONSTRUCTION JOINT			S.W.F.	SHEAR WALL FOOTING	CONTR.	CONTRACTOR					DET.	DETAIL	LAM.	LAMINATE	T.	TELEPHONE	DIA.	DIAMETER	L.F.	LAMINATE LINEAL FOOT	T&B	TOP & BOTTOM	DM.	DIMENSION	LG.	LONG	TECH.	TECHNOLOGY	DR.	DOOR	LOC.	LOCATION	T.O.	TOP OF	DN.	DOWN	L.P.	LOW POINT	T.O.F.	TOP OF FRAME	DWG.	DRAWING	LTG.	LIGHTING	T.O.S.	TOP OF STEEL					T/S	TOP OF SLAB					T/W	TOP OF WALL					TYP.	TYPICAL	E	ELECTRICAL			U.O.N.	UNLESS OTHERWISE NOTED	EA.	EACH	MAS.	MASONRY			ECTR.	EXISTING CEILING TO REMAIN	MAX.	MAXIMUM	V.B.	VINYL BASE	ED.	EDUCATION	MECH.	MECHANICAL	V.G.T.	VINYL COMPOSITE TILE	ELEC.	ELECTRICAL	M.H.	MANHOLE	VERT.	VERTICAL	E.F.	EACH FACE	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD	E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS			EL.	ELEVATION	M.O.	MASONRY OPENING	W.	WATER	ELEV.	ELEVATION	MTD.	MOUNTED	W/	WITH	EMER.	EMERGENCY			WCJ	WALL CONTROL JOINT	ENCL.	ENCLOSURE	N.A.	NOT APPLICABLE	WD.	WOOD	ENL.	ENLARGED	N.I.C.	NOT IN CONTRACT	WF.	WIDE FLANGE	ENT.	ENTRANCE	NO.	NUMBER	W.W.F.	WELDED WIRE FABRIC	EP.	EPOXY PAINT	NOM.	NOMINAL	W.W.M.	WELDED WIRE MESH	EQ.	EQUAL	N.S.	NEAR SIDE			ES.	EXPOSED STRUCTURE	N.T.S.	NOT TO SCALE			E.T.R.	EXISTING TO REMAIN					E.W.	EACH WAY	O.C.	ON CENTER			E.W./E.F.	EACH WAY/EACH FACE	O.C.G.	OCCUPANT			EXAM.	EXAMINATION	O.D.	OUTSIDE DIAMETER			EXIST.	EXISTING	OPNG.	OPENING	Ø	AT DIAMETER	EXP.	EXPANSION			Φ	DIAMETER	EXT.	EXTERIOR					<table><tr><td>XXX</td><td>ROOM NUMBER</td></tr><tr><td>XX</td><td>DOOR NUMBER</td></tr><tr><td>XX</td><td>DEMOLITION NOTE</td></tr><tr><td>XX</td><td>WINDOW TYPE</td></tr><tr><td>XX/XX</td><td>DETAIL NUMBER DRAWING NUMBER</td></tr><tr><td>← XX</td><td>CONSTRUCTION NOTE</td></tr><tr><td>— X</td><td>SECTION / DETAIL DRAWING NUMBER</td></tr><tr><td>△ XX/XX</td><td>WALL SECTION DRAWING NUMBER</td></tr><tr><td>△ XX/XX</td><td>INTERIOR / EXT. ELEVATION DRAWING NUMBER</td></tr><tr><td>+</td><td>REFERENCE POINT</td></tr><tr><td>XX</td><td>WALL TYPE</td></tr><tr><td>△ X</td><td>REVISION MARK</td></tr></table>	XXX	ROOM NUMBER	XX	DOOR NUMBER	XX	DEMOLITION NOTE	XX	WINDOW TYPE	XX/XX	DETAIL NUMBER DRAWING NUMBER	← XX	CONSTRUCTION NOTE	— X	SECTION / DETAIL DRAWING NUMBER	△ XX/XX	WALL SECTION DRAWING NUMBER	△ XX/XX	INTERIOR / EXT. ELEVATION DRAWING NUMBER	+	REFERENCE POINT	XX	WALL TYPE	△ X	REVISION MARK	<table><tr><td></td><td>CONCRETE</td></tr><tr><td></td><td>CONCRETE MASONRY UNITS</td></tr><tr><td></td><td>BRICK</td></tr><tr><td></td><td>STONE</td></tr><tr><td></td><td>METALS</td></tr><tr><td></td><td>COMPACTED GRAVEL</td></tr><tr><td></td><td>EARTH</td></tr><tr><td></td><td>PLYWOOD</td></tr><tr><td></td><td>ACOUSTICAL TILE</td></tr><tr><td></td><td>WOOD FRAMING - THROUGH MEMBER</td></tr><tr><td></td><td>WOOD FRAMING - INTERRUPTED MEMBER</td></tr><tr><td></td><td>FINISHED WOOD</td></tr><tr><td></td><td>BATT INSULATION</td></tr><tr><td></td><td>RIGID INSULATION</td></tr><tr><td></td><td>GYPSUM BOARD</td></tr></table>		CONCRETE		CONCRETE MASONRY UNITS		BRICK		STONE		METALS		COMPACTED GRAVEL		EARTH		PLYWOOD		ACOUSTICAL TILE		WOOD FRAMING - THROUGH MEMBER		WOOD FRAMING - INTERRUPTED MEMBER		FINISHED WOOD		BATT INSULATION		RIGID INSULATION		GYPSUM BOARD	<table><tr><td colspan="2">COVER SHEET</td></tr><tr><td colspan="2">INFORMATION AND CODE DRAWINGS</td></tr><tr><td>A001</td><td>GENERAL INFORMATION</td></tr><tr><td>A002</td><td>COMMUNITY CENTER CODE SHEET</td></tr><tr><td colspan="2">ARCHITECTURAL DRAWINGS</td></tr><tr><td>A100</td><td>SITE PLAN</td></tr><tr><td>A101</td><td>COMMUNITY CENTER DEMOLITION PLAN</td></tr><tr><td>A102</td><td>CONSTRUCTION PLAN</td></tr><tr><td>A103</td><td>COMMUNITY CENTER FLOOR PLANS</td></tr><tr><td>A103.1</td><td>COMMUNITY CENTER WALKWAY CANOPY PLANS AND DETAILS</td></tr><tr><td>A104</td><td>COMMUNITY CENTER RCP</td></tr><tr><td>A105</td><td>COMMUNITY CENTER ROOF PLAN</td></tr><tr><td>A106</td><td>COMMUNITY CENTER EXTERIOR ELEVATIONS</td></tr><tr><td>A107</td><td>COMMUNITY CENTER BUILDING SECTIONS</td></tr><tr><td>A108</td><td>COMMUNITY CENTER WALL SECTIONS</td></tr><tr><td>A109</td><td>INTERIOR ELEVATIONS</td></tr><tr><td>A110</td><td>CASEWORK DETAILS</td></tr><tr><td>A111</td><td>WINDOW ELEVATIONS AND DETAILS</td></tr><tr><td>A112</td><td>DOOR TYPES, DETAILS AND SCHEDULE, SIGNAGE DETAILS</td></tr><tr><td>A113</td><td>FINISH PLAN AND SCHEDULE</td></tr><tr><td>A114</td><td>APARTMENT ROOF PLANS AND DETAILS</td></tr><tr><td>A115</td><td>EQUIPMENT ENCLOSURE DETAILS</td></tr><tr><td colspan="2">MECHANICAL / PLUMBING</td></tr><tr><td>MP001</td><td>MECHANICAL / PLUMBING GENERAL NOTES &amp; SYMBOLS</td></tr><tr><td>MP100</td><td>MECHANICAL / PLUMBING COMMUNITY BUILDING DEMOLITION FLOOR PLANS</td></tr><tr><td>MP100</td><td>NEW MECHANICAL / PLUMBING COMMUNITY BUILDING FLOOR PLAN</td></tr><tr><td>MP101</td><td>NEW MECHANICAL / PLUMBING APARTMENT FLOOR PLAN</td></tr><tr><td>MP200</td><td>MECHANICAL / PLUMBING DETAILS AND SCHEDULES</td></tr><tr><td colspan="2">ELECTRICAL</td></tr><tr><td>E001</td><td>ELECTRICAL SYMBOLS, NOTES AND SCHEDULES</td></tr><tr><td>E0101</td><td>COMMUNITY CENTER ELECTRICAL DEMOLITION FLOOR PLANS</td></tr><tr><td>E101</td><td>COMMUNITY CENTER ELECTRICAL LIGHTING FLOOR PLAN</td></tr><tr><td>E102</td><td>COMMUNITY CENTER ELECTRICAL POWER FLOOR PLAN</td></tr><tr><td>E103</td><td>TYPICAL APARTMENT PART PLANS</td></tr><tr><td>E3100</td><td>ELECTRICAL SITE PLAN</td></tr></table>	COVER SHEET		INFORMATION AND CODE DRAWINGS		A001	GENERAL INFORMATION	A002	COMMUNITY CENTER CODE SHEET	ARCHITECTURAL DRAWINGS		A100	SITE PLAN	A101	COMMUNITY CENTER DEMOLITION PLAN	A102	CONSTRUCTION PLAN	A103	COMMUNITY CENTER FLOOR PLANS	A103.1	COMMUNITY CENTER WALKWAY CANOPY PLANS AND DETAILS	A104	COMMUNITY CENTER RCP	A105	COMMUNITY CENTER ROOF PLAN	A106	COMMUNITY CENTER EXTERIOR ELEVATIONS	A107	COMMUNITY CENTER BUILDING SECTIONS	A108	COMMUNITY CENTER WALL SECTIONS	A109	INTERIOR ELEVATIONS	A110	CASEWORK DETAILS	A111	WINDOW ELEVATIONS AND DETAILS	A112	DOOR TYPES, DETAILS AND SCHEDULE, SIGNAGE DETAILS	A113	FINISH PLAN AND SCHEDULE	A114	APARTMENT ROOF PLANS AND DETAILS	A115	EQUIPMENT ENCLOSURE DETAILS	MECHANICAL / PLUMBING		MP001	MECHANICAL / PLUMBING GENERAL NOTES & SYMBOLS	MP100	MECHANICAL / PLUMBING COMMUNITY BUILDING DEMOLITION FLOOR PLANS	MP100	NEW MECHANICAL / PLUMBING COMMUNITY BUILDING FLOOR PLAN	MP101	NEW MECHANICAL / PLUMBING APARTMENT FLOOR PLAN	MP200	MECHANICAL / PLUMBING DETAILS AND SCHEDULES	ELECTRICAL		E001	ELECTRICAL SYMBOLS, NOTES AND SCHEDULES	E0101	COMMUNITY CENTER ELECTRICAL DEMOLITION FLOOR PLANS	E101	COMMUNITY CENTER ELECTRICAL LIGHTING FLOOR PLAN	E102	COMMUNITY CENTER ELECTRICAL POWER FLOOR PLAN	E103	TYPICAL APARTMENT PART PLANS	E3100	ELECTRICAL SITE PLAN
AB.	ANCHOR BOLT	FDN.	FOUNDATION	P.C.B.	PAINTED CONCRETE BLOCK																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
A.C.P.	ASBESTOS CEMENT PIPE	FF.	FINISHED FLOOR	P.G.B.	PAINTED GYPSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ADJ.	ADJUSTABLE	FN.	FINISH, FINISHED	P.	PLATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
A.F.F.	ABOVE FINISH FLOOR	FXT.	FIXTURE	PLUMB.	PLUMBING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
A.C.T.	ACOUSTICAL CEILING TILE	FL.	FLOOR	PLYWD.	PLYWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ALUM.	ALUMINUM	FT.	FOOT	PREP.	PREPARATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
APPROX.	APPROXIMATE	F.S.	FAR SIDE	P.T.	PRESSURE TREATED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ARCH.	ARCHITECTURAL	FTG.	FOOTING	PTD.	PAINTED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ASPH.	ASPHALT			P.V.C.	POLYVINYL CHLORIDE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
AVG.	AVERAGE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
BBMT.	BASEMENT	G	GAS	R	RISER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BD.	BOARD	GA.	GAGE, GAUGE	RAD.	RADIUS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BRG.	BEARING	GEN.	GENERAL	R.C.P.	REINFORCED CONCRETE PIPE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BRK.	BRICK	G.C.	GENERAL CONTRACTOR	R.D.	ROOF DRAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BIT.	BITUMINOUS	GYP.	GYPSUM	RENF.	REINFORCEMENT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BLK.	BLOCK	GYP. BD.	GYPSUM BOARD	REQD.	REQUIRED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
BLDG.	BUILDING	H.C.	HANDICAPPED	R.H.	ROOF HATCH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
B.S.	BOTH SIDES	HD.	HEADED	R.L.	ROOF LEADER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
		HDWR.	HARDWARE	RM.	ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
		HGT.	HEIGHT	S	STORM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.I.	CAST IRON	H.P.	HIGH POINT	SAN.	SANITARY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.I.P.	CAST IN PLACE CONCRETE	H.M.	HOLLOW METAL	S.C.	SEALED CONCRETE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.B.	CATCH BASIN	HORIZ.	HORIZONTAL, HORIZONTALLY	SCHED.	SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.B.R.	CATCH BASIN TO BE REMOVED	H.B.	HOSE BIBB	SECT.	SECTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CLG.	CEILING	H.R.	HOSE	SECT. FOOTING	SECTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.	CHALK BOARD	HYD.	HYDRANT	SECT. SIMILAR	SECTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C. BD.	CURB CUT			S.O.G.	SLAB ON GRADE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.O.	CLEAN OUT	INSUL.	INSULATION, INSULATED	SPEC.	SPECIFICATIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
COL.	COLUMN	INT.	INTERIOR	SQ.	SQUARE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CONC.	CONCRETE	INV.	INVERT	SQ. FT.	SQUARE FEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CONF.	CONFERENCE			STL.	STEEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.M.U.	CONCRETE MASONRY UNIT	JAN.	JANITOR	STRUCT.	STRUCTURAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CONT.	CONTINUOUS, CONTINUE	K.P.	KICK PLATE	SUSP.	SUSPENDED, SUSPENSION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
C.J.	CONTROL JOINT/			SW.	SHEAR WALL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
	CONSTRUCTION JOINT			S.W.F.	SHEAR WALL FOOTING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CONTR.	CONTRACTOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
DET.	DETAIL	LAM.	LAMINATE	T.	TELEPHONE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
DIA.	DIAMETER	L.F.	LAMINATE LINEAL FOOT	T&B	TOP & BOTTOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
DM.	DIMENSION	LG.	LONG	TECH.	TECHNOLOGY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
DR.	DOOR	LOC.	LOCATION	T.O.	TOP OF																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
DN.	DOWN	L.P.	LOW POINT	T.O.F.	TOP OF FRAME																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
DWG.	DRAWING	LTG.	LIGHTING	T.O.S.	TOP OF STEEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
				T/S	TOP OF SLAB																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
				T/W	TOP OF WALL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
				TYP.	TYPICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
E	ELECTRICAL			U.O.N.	UNLESS OTHERWISE NOTED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EA.	EACH	MAS.	MASONRY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
ECTR.	EXISTING CEILING TO REMAIN	MAX.	MAXIMUM	V.B.	VINYL BASE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ED.	EDUCATION	MECH.	MECHANICAL	V.G.T.	VINYL COMPOSITE TILE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ELEC.	ELECTRICAL	M.H.	MANHOLE	VERT.	VERTICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
E.F.	EACH FACE	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
EL.	ELEVATION	M.O.	MASONRY OPENING	W.	WATER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ELEV.	ELEVATION	MTD.	MOUNTED	W/	WITH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EMER.	EMERGENCY			WCJ	WALL CONTROL JOINT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ENCL.	ENCLOSURE	N.A.	NOT APPLICABLE	WD.	WOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ENL.	ENLARGED	N.I.C.	NOT IN CONTRACT	WF.	WIDE FLANGE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
ENT.	ENTRANCE	NO.	NUMBER	W.W.F.	WELDED WIRE FABRIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EP.	EPOXY PAINT	NOM.	NOMINAL	W.W.M.	WELDED WIRE MESH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EQ.	EQUAL	N.S.	NEAR SIDE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
ES.	EXPOSED STRUCTURE	N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
E.T.R.	EXISTING TO REMAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E.W.	EACH WAY	O.C.	ON CENTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
E.W./E.F.	EACH WAY/EACH FACE	O.C.G.	OCCUPANT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
EXAM.	EXAMINATION	O.D.	OUTSIDE DIAMETER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
EXIST.	EXISTING	OPNG.	OPENING	Ø	AT DIAMETER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EXP.	EXPANSION			Φ	DIAMETER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
EXT.	EXTERIOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XXX	ROOM NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XX	DOOR NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XX	DEMOLITION NOTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XX	WINDOW TYPE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XX/XX	DETAIL NUMBER DRAWING NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
← XX	CONSTRUCTION NOTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
— X	SECTION / DETAIL DRAWING NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
△ XX/XX	WALL SECTION DRAWING NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
△ XX/XX	INTERIOR / EXT. ELEVATION DRAWING NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
+	REFERENCE POINT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
XX	WALL TYPE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
△ X	REVISION MARK																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	CONCRETE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	CONCRETE MASONRY UNITS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	BRICK																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	STONE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	METALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	COMPACTED GRAVEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	EARTH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	PLYWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	ACOUSTICAL TILE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	WOOD FRAMING - THROUGH MEMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	WOOD FRAMING - INTERRUPTED MEMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	FINISHED WOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	BATT INSULATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	RIGID INSULATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	GYPSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
COVER SHEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
INFORMATION AND CODE DRAWINGS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
A001	GENERAL INFORMATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A002	COMMUNITY CENTER CODE SHEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
ARCHITECTURAL DRAWINGS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
A100	SITE PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A101	COMMUNITY CENTER DEMOLITION PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A102	CONSTRUCTION PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A103	COMMUNITY CENTER FLOOR PLANS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A103.1	COMMUNITY CENTER WALKWAY CANOPY PLANS AND DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A104	COMMUNITY CENTER RCP																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A105	COMMUNITY CENTER ROOF PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A106	COMMUNITY CENTER EXTERIOR ELEVATIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A107	COMMUNITY CENTER BUILDING SECTIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A108	COMMUNITY CENTER WALL SECTIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A109	INTERIOR ELEVATIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A110	CASEWORK DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A111	WINDOW ELEVATIONS AND DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A112	DOOR TYPES, DETAILS AND SCHEDULE, SIGNAGE DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A113	FINISH PLAN AND SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A114	APARTMENT ROOF PLANS AND DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
A115	EQUIPMENT ENCLOSURE DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
MECHANICAL / PLUMBING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
MP001	MECHANICAL / PLUMBING GENERAL NOTES & SYMBOLS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
MP100	MECHANICAL / PLUMBING COMMUNITY BUILDING DEMOLITION FLOOR PLANS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
MP100	NEW MECHANICAL / PLUMBING COMMUNITY BUILDING FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
MP101	NEW MECHANICAL / PLUMBING APARTMENT FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
MP200	MECHANICAL / PLUMBING DETAILS AND SCHEDULES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
ELECTRICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
E001	ELECTRICAL SYMBOLS, NOTES AND SCHEDULES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E0101	COMMUNITY CENTER ELECTRICAL DEMOLITION FLOOR PLANS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E101	COMMUNITY CENTER ELECTRICAL LIGHTING FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E102	COMMUNITY CENTER ELECTRICAL POWER FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E103	TYPICAL APARTMENT PART PLANS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
E3100	ELECTRICAL SITE PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
<div>Project Title:</div> <div>Essex Housing Authority</div> <div>Renovations at Essex Court</div> <div>16 Main Street</div> <div>Centerbrook, CT 06409</div>		<div>GENERAL NOTES</div> <ol style="list-style-type: none"><li>1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS &amp; DIMENSIONS.</li><li>2. ALL MATERIALS &amp; EQUIPMENT ARE NEW UNLESS OTHERWISE NOTED AS 'EXISTING'.</li><li>3. ALL EXISTING UTILITIES &amp; EQUIPMENT LOCATIONS ARE APPROXIMATE - CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.</li><li>4. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING CONSTRUCTION AND WILL REPLACE ANY &amp; ALL DAMAGED ITEMS &amp; EQUIPMENT WITH NO ADDITIONAL COST TO THE OWNER.</li><li>5. GENERAL NOTES FOUND ANYWHERE IN THE CONTRACT DOCUMENTS RELATE TO ALL DRAWINGS AND SPECIFICATIONS.</li><li>6. ALL MATERIALS USED IN THE SCOPE OF WORK MUST NOT CONTAIN ANY ASBESTOS AND THE CONTRACTOR MUST CERTIFY THAT TO THE BEST OF HIS/HER KNOWLEDGE THAT MATERIALS USED IN THE SCOPE OF WORK ARE ASBESTOS FREE.</li><li>7. PROVIDE ALL TEMPORARY PARTITIONS AND PROTECTION METHODS TO INSURE THAT THE OWNER'S MATERIALS, EQUIPMENT AND OPERATIONS ARE PROTECTED AND REMAIN OPERATIONAL DURING CONSTRUCTION.</li><li>8. THE DRAWINGS AND THE SPECIFICATIONS ARE COMPLEMENTARY - WHAT IS REQUIRED BY ONE IS REQUIRED BY BOTH.</li><li>9. ALL RATED DOORS &amp; DOORS FRONTING A CORRIDOR SHALL HAVE POSITIVE LATCHING LOCKSETS UNLESS OTHERWISE INDICATED ON DOOR SCHEDULE.</li><li>10. ALL DOORS EXITING 100 PERSONS OR MORE SHALL HAVE PANIC EXIT DEVICES.</li><li>11. ALL HANDICAP ACCESSIBLE DOOR HARDWARE SHALL BE PROVIDED TO COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS.</li><li>12. ALL WOOD BLOCKING, FRAMING MEMBERS, STUDS, PLYWOOD SHEATHING, ETC. SHALL BE FIRE RETARDANT TREATED - AS PER 2015 IBC/2018 CT, SECTION 603.1.</li></ol>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						



CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION	1986
DATE OF ADDITIONS	---
DATE OF PROPOSED ADDITION	2021

1. GROUP CLASSIFICATION (Chapter 3)	A3
(Primary)	
(Incidental)	B

2. CONSTRUCTION TYPE (Chapter 6)	5B
Minimum Type Required	5B
Actual Type Provided (existing)	---
(new)	---

3. BUILDING HEIGHT (Chapter 5)	2/40'-0"
Allowable Height (story/feet)	13'-0
Actual Height (story/feet)	1
(Stories Above Grade)	

4. BUILDING AREA (Chapter 5)	
1) Building Area	
Existing construction	1363 sq. ft.
New construction (Community Center) -	350 sq. ft.
Total floor (Community Center Building) -	1733 sq. ft.
New construction (Separate Pavilion) -	620 sq. ft.

5. AREA MODIFICATIONS TO TABLE 503 (for each separate building as defined by fire walls and/or exterior walls)

Total Perimeter =	93 ft.	45 ft.	45 ft.	93 ft.
Open Perimeter =	93 ft.	45 ft.	45 ft.	93 ft.
	N	E	W	S
Total Frontage (F)	276 ft.	Perimeter (P)	276 ft.	
(building perimeter which fronts on a public way or open space having 20 feet open min.)		(perimeter of the entire building)		
Width of open space (W) =	30			
1/100(F-P-0.25)W/30				
100( 276 / 276 -0.25) 30 /30= 75				
% Frontage Increase (If) =	75			
% of Allowable Tabular Area, At (table 503)	100	%		
% of Increase for frontage, If (506.2)	75	%		
% of Increase for automatic sprinklers, Is (506.3)	0	%		
Total percentage factor	175	%		
Conversion factor	1.75			
(Total percentage factor * 100)				

6. CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)	
USE GROUP A3	(Allowable Area 506.4)
a) ALLOWABLE AREA per floor (Aa)	
1.75 x 6,000 (tabular area, Table 503)	10,500 sq. ft.
b) TOTAL FLOOR AREA (all stories-A use)	10,500 sq. ft.
c) ALLOWABLE FLOOR AREA (all stories)	
10,500 x 2 (number of stories (maximum 3))	21,000 sq. ft.

7. CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2) (NOT USED)

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (Table 601, See Code Plans for specific designations)	
1. Structural frame, including columns, girders, trusses	0 Hr(s)
2. Bearing walls:	
Exterior (Table 602)	0 Hr(s)
Interior	0 Hr(s)
3. Nonbearing walls & partitions:	
Exterior (Table 602)	0 Hr(s)
Interior	0 Hr(s)
4. Nonbearing walls & partitions:	
Exterior	0 Hr(s)
Interior	0 Hr(s)
5. Floor Construction (including supporting beams & joists)	0 Hr(s)
6. Roof Construction (including supporting beams & joists)	0 Hr(s)

9. OCCUPANCY LOAD	
Design Total for Building	225
Total Ext Capacity for Building	2540

10. MODIFICATIONS (NOT USED)

11. ACCESSIBLE BUILDING	X	Designated
		Non Designated

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. Chapter 4) For each type of occupancy per entire facility

Group "A3" occupancy (Design Load = 93)	Required	Provided
W/C Male	1	1
W/C Female	1	1
W/C Unisex	0	0
Lavs Male	1	1
Lavs Female	1	1
Lav Unisex	0	0
D/F	1	1
Service Sink	1	1

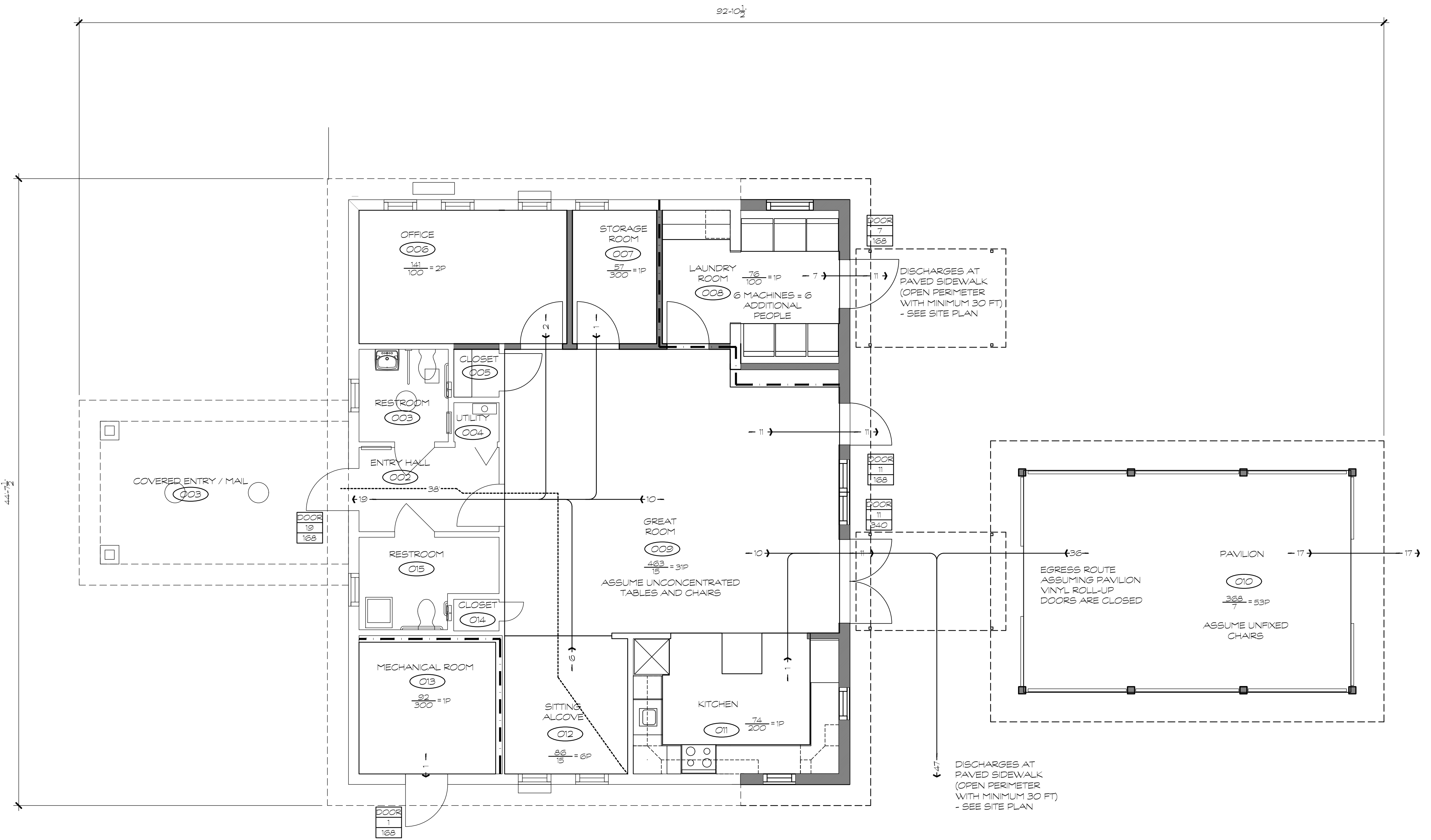
13. ENTIRE BUILDING SPRINKLERED	Yes	No
		X
14. THRESHOLD BUILDING CONDITIONS	Yes	No
		X

15. CODES TO WHICH THIS PROJECT WAS DESIGNED	
State Building Code w/Supplement	2015 IBC/2018 CT
State Plumbing Code w/Supplement	2015 IBC/2018 CT
State Mechanical Code w/Supplement	2015 IBC/2018 CT
State Electrical Code w/Supplement	NFPA 70/2017 CT
State Fire Prevention Code	MOST CURRENT
State Health Code	MOST CURRENT
OSHA	MOST CURRENT
Section 504	CURRENT
ADA	2010

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY) Per State Building Code Definition "Area, Building" (to interior face of exterior walls, including openings and areas under projections) (NOT USED)

FIRE SAFETY CODE DATA:	
1. CLASSIFICATION OF OCCUPANCY	ASSEMBLY-A3
2. MINIMUM CONSTRUCTION REQUIRED	5B
ACTUAL CONSTRUCTION PROVIDED	5B
3. NOTIFICATION / ALARMS	YES X NO
(CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	
4. DETECTION	YES X NO
(CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	
5. EXTINGUISHMENT REQUIREMENTS	YES NO X
(NFPA 13, 2002)	

MEANS OF EGRESS	
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2	
USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	20 S.F. NET
2. SHOPS & VOCATIONAL	50 S.F. NET
3. ASSEMBLY	
WITHOUT FIXED SEATS	7 S.F. NET
TABLES AND CHAIRS	15 S.F. NET
4. PLATFORMS	15 S.F. NET
5. LIBRARY	
READING ROOMS	50 S.F. NET
STACK AREA	100 S.F. GROSS
6. LOCKER ROOMS	50 S.F. GROSS
7. MECHANICAL AREAS	300 S.F. GROSS
8. STORAGE	300 S.F. GROSS
9. BUSINESS AREAS	100 S.F. GROSS
9. EXERCISE ROOMS	50 S.F. GROSS
MAXIMUM LENGTH OF EXIT TRAVEL	
1. I.B.C. TABLE 1015.1	250 feet



COMMUNITY CENTER CODE PLAN

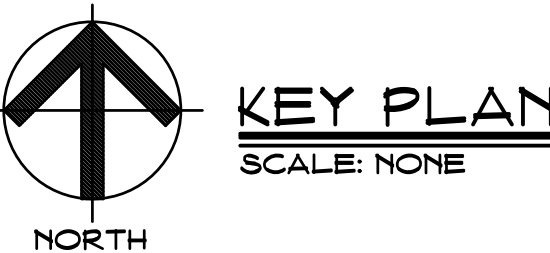
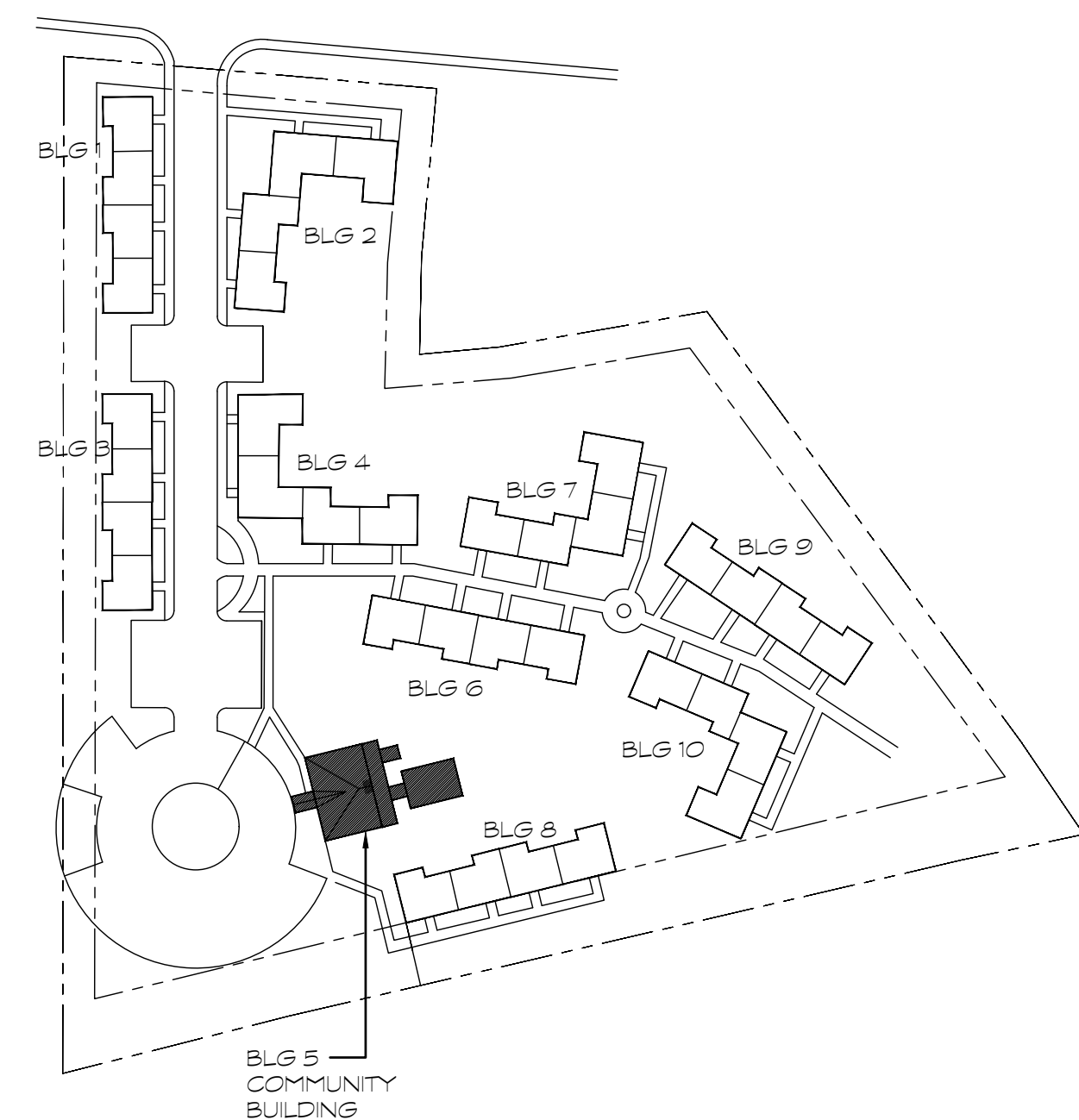
SCALE: 1/4" = 1'-0"

1

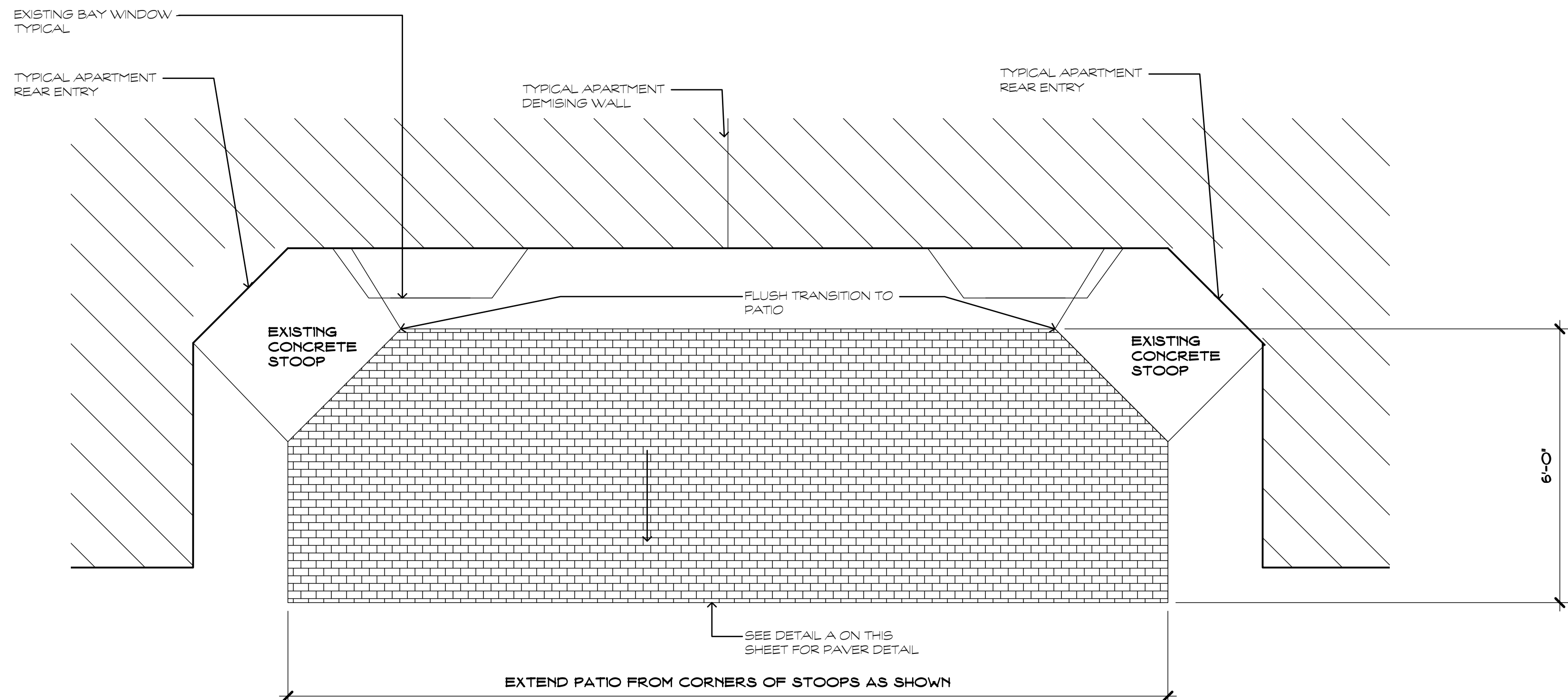
A002

LEGEND

- GYMNASIUM (A103) ROOM NAME
- ROOM NUMBER
- 64/5/3 STAIR CLEAR WIDTH/BC FACTOR
- DOOR 18 ACTUAL OCCUPANT LOAD
- 180 OCCUPANT LOAD CAPACITY
- 128/100 AREA OF ROOM
- 2P OCCUPANT LOAD IN ROOM
- AREA/PERSON
- 35 DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANCY LOAD
- 259 FARTHEST TRAVEL DISTANCE
- 1 HR RATED WALL ASSEMBLY
- 2 HR RATED WALL ASSEMBLY





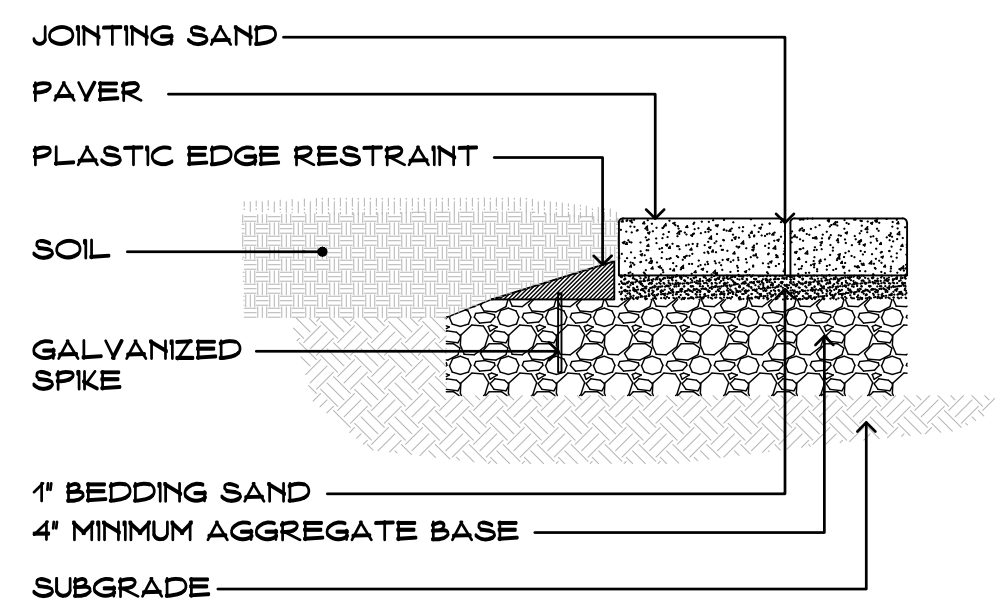


**TYPICAL PATIO PLAN DETAIL**  
SCALE: 1" = 30'-0"

2  
A100

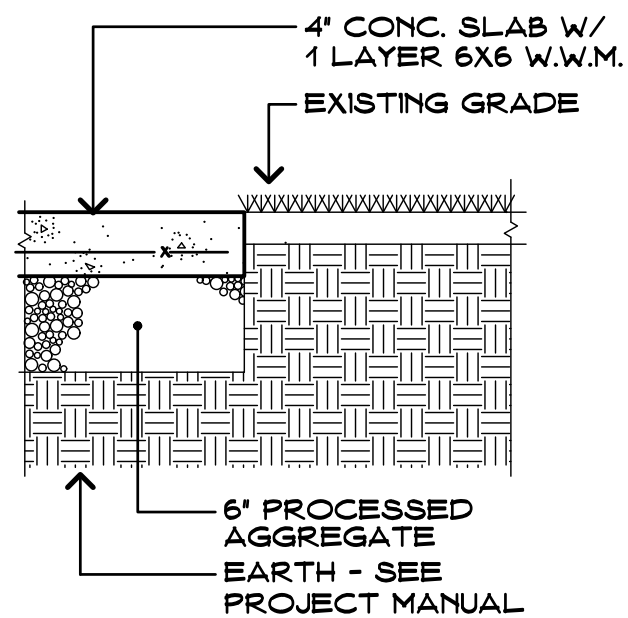


PHOTO 1  
EXISTING CONDITION BETWEEN APARTMENTS. OUTLINE OF APPROXIMATE LOCATION NEW PAVER PATIO SHOWN.



**PAVER TYPICAL DETAIL**  
SCALE: 1 1/2" = 1'-0"

A  
A100



**CONCRETE WALK TYPICAL DETAIL**  
SCALE: 1" = 1'-0"

B  
A100

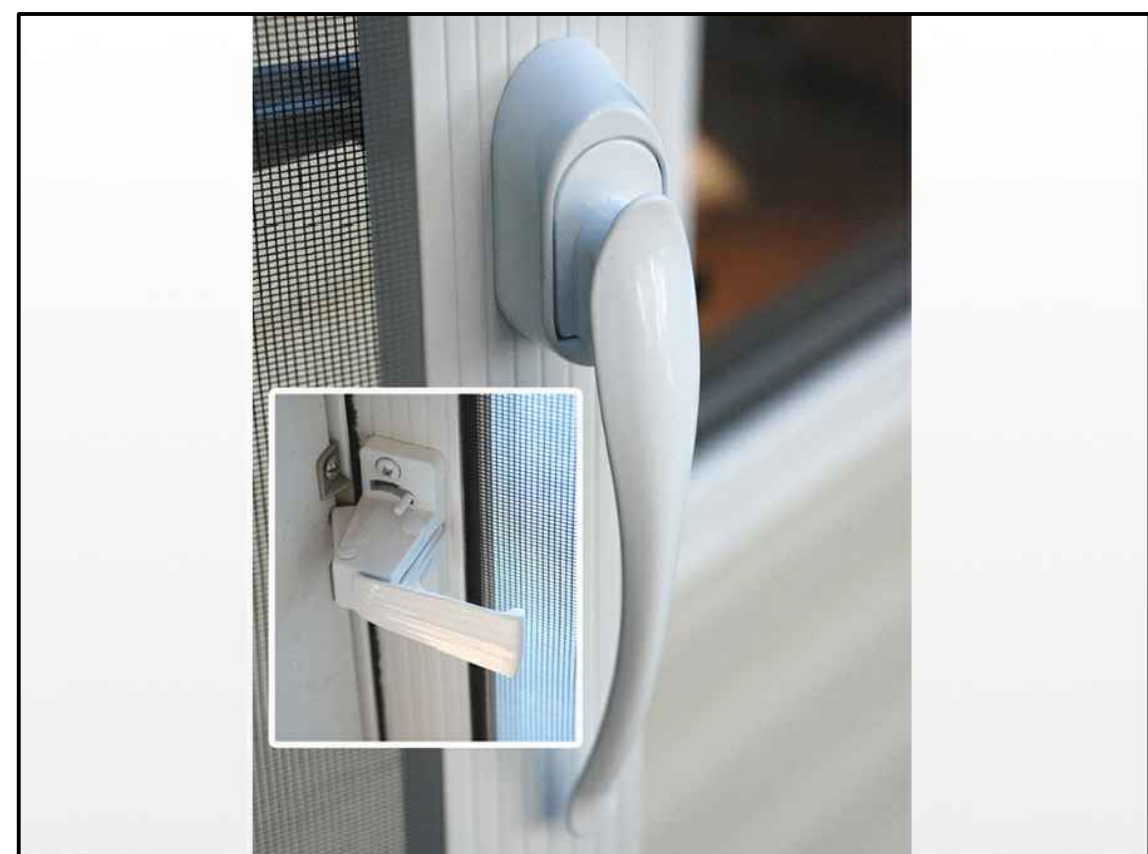
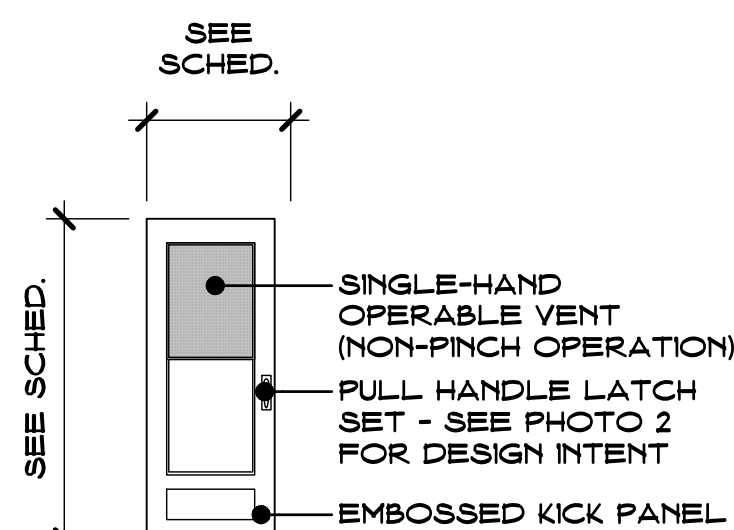


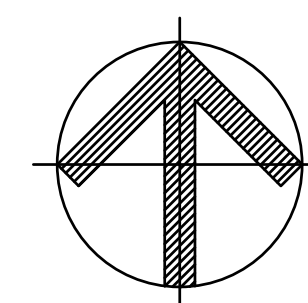
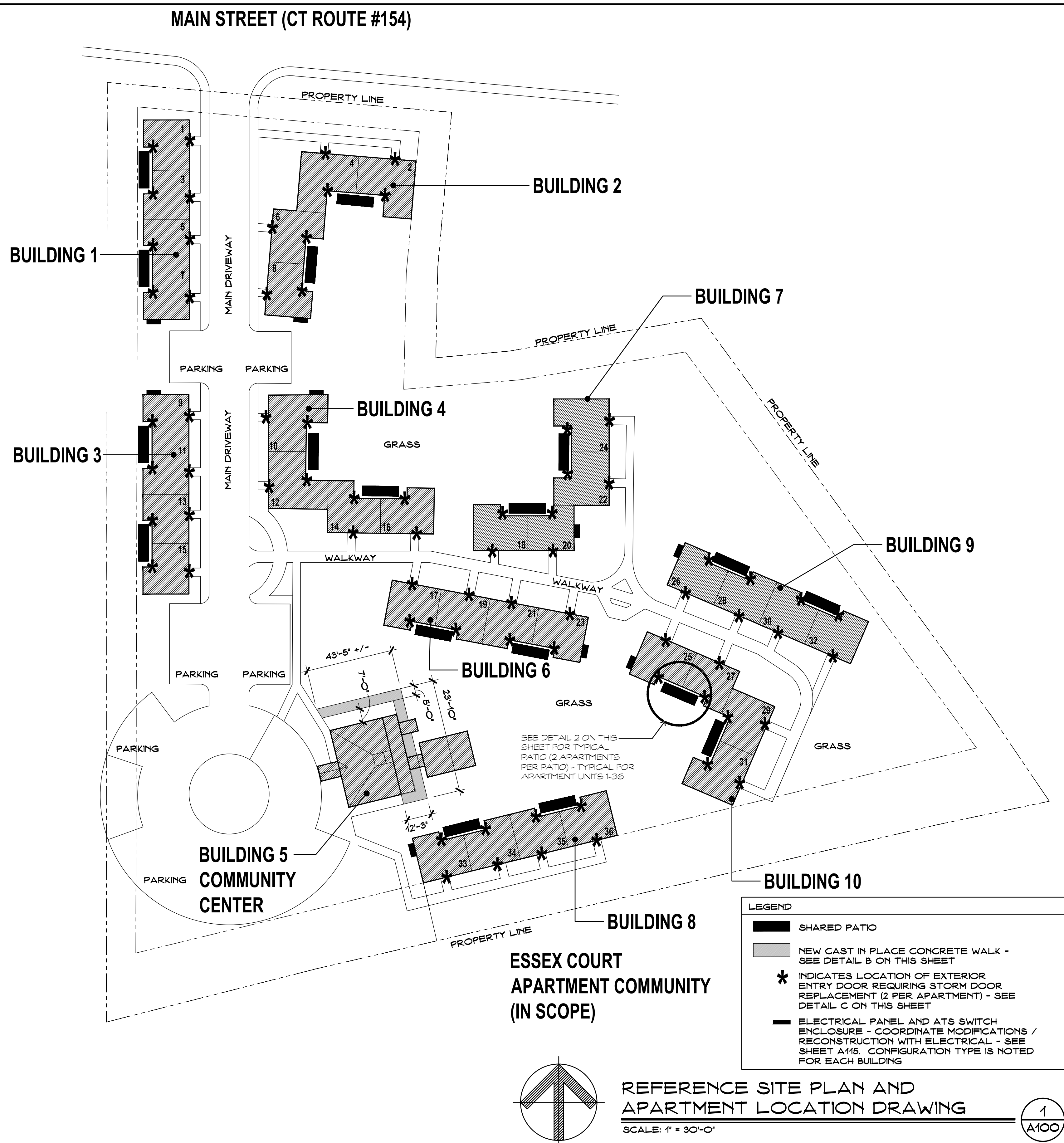
PHOTO 2  
BASIS OF DESIGN - ADA COMPLIANT EZ PULL DOOR HANDLE PCA PRODUCTS  
EXTERIOR PULL HANDLE WITH INTERIOR PUSH HARDWARE AT INTERIOR (ALL OUTSWING STORM DOORS)



TYPICAL STORM DOOR  
FRONT AND REAR DOORS  
APARTMENTS 1-36  
FIELD VERIFY ALL EXISTING EXTERIOR DOORS PRIOR TO ORDERING STORM DOORS

**TYPICAL STORM DOOR DETAIL**  
SCALE: 1 1/2" = 1'-0"

C  
A100



**REFERENCE SITE PLAN AND APARTMENT LOCATION DRAWING**  
SCALE: 1" = 30'-0"

1  
A100

Project Title:

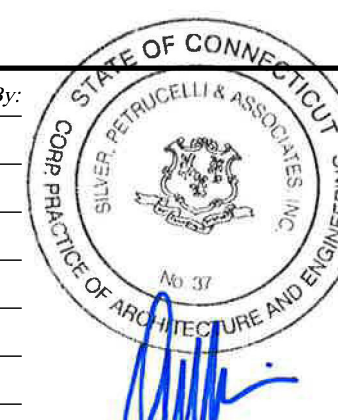
Essex Housing Authority  
**Renovations at Essex Court**  
16 Main Street  
Centerbrook, CT 06409



**SILVER / PETRUCCELLI + ASSOCIATES**  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucci.com

Revision: Description: Date: Revised By:

BID DOCUMENTS 9/16/2022



Drawing Title:

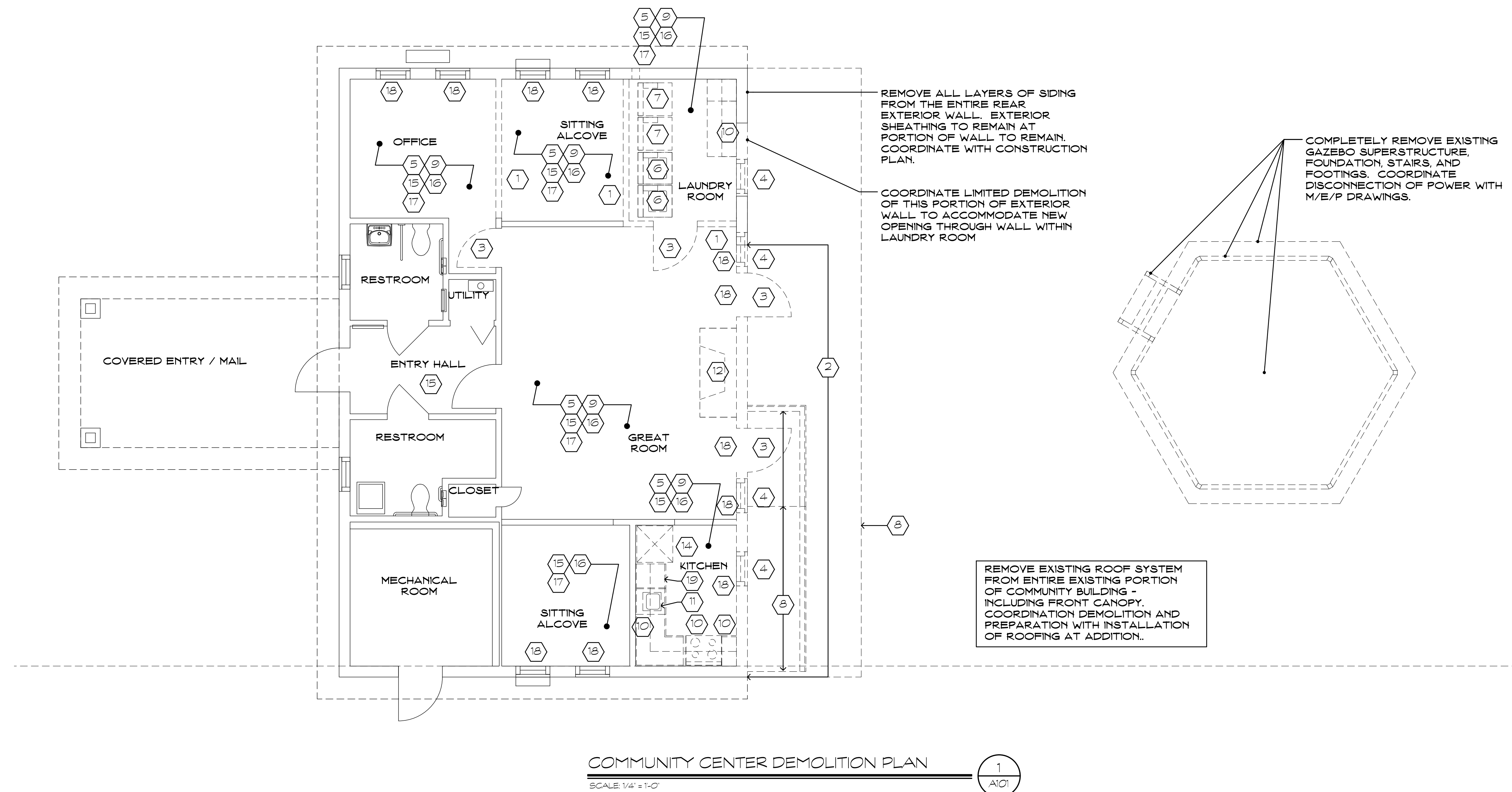
**Site Plan**

Date: September 16, 2022 Drawing Number:

Scale:  
AS NOTED  
Drawn By:  
BJV  
Project Number:  
21007

**A100**





DEMOLITION LEGEND

EXISTING CONSTRUCTION TO REMAIN.

EXISTING WALLS TO BE REMOVED.

DASHED LINES INDICATE ITEMS TO BE DEMOLISHED (WINDOWS, DOORS, ETC.). SEE DEMOLITION NOTES ON ARCHITECTURAL DRAWINGS. SOME ITEMS TO BE SALVAGED FOR REUSE AS NOTED.

EXISTING DOOR TO REMAIN, SEE DOOR SCHEDULE FOR SCOPE OF WORK.

EXISTING DOOR AND HARDWARE TO BE REMOVED, SEE DOOR SCHEDULE FOR FRAMES TO REMAIN.

#

KEYED DEMOLITION NOTES.

DEMOLITION GENERAL NOTES

1. COORDINATE ALL DEMOLITION WORK WITH PROJECT MANUAL AND ALL DRAWINGS.

2. CONTRACTOR SHALL VERIFY SCOPE AND QUANTITIES OF DEMOLITION WORK.

DEMOLITION NOTES

#

1. REMOVE EXISTING INTERIOR PARTITION. COORDINATE DEMOLITION WITH NEW CONSTRUCTION WORK.

2. REMOVE EXISTING EXTERIOR WALL. COORDINATE DEMOLITION AND TEMPORARY SHORING OF STRUCTURE WITH NEW CONSTRUCTION WORK.

3. REMOVE EXISTING DOOR AND FRAME.

4. REMOVE EXISTING WINDOW ASSEMBLY INCLUDING ALL BLOCKING, SHIMS, HARDWARE, INTERIOR METAL TRIM, SEALANT, AND INTERIOR WINDOW TREATMENTS.

5. REMOVE ALL EXISTING INTERIOR CEILING MOUNTED LIGHT FIXTURES WITHIN CONTIGUOUS CEILING AREA OF ROOM.

6. REMOVE EXISTING WASHERS. COORDINATE SUPPLY AND WASTE LINE REMOVAL WITH M/E/P.

7. REMOVE EXISTING DRYERS, VENT DUCTS, AND VENTS. COORDINATE DISCONNECTION OF GAS/POWER WITH M/E/P.

8. REMOVE EXISTING CONCRETE PATIO ON GRADE, RAMP/LANDING, AND ASSOCIATED RAILS.

9. COORDINATE ALL M/E/P DEMOLITION WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

10. REMOVE EXISTING COUNTERS AND CASEWORK.

11. REMOVE EXISTING PLUMBING FIXTURES. CAP ALL SUPPLY AND WASTE LINES FOR REUSE.

12. REMOVE EXISTING CHIMNEY, FIREPLACE, AND HEARTH. REMOVE PORTION OF CHIMNEY FOUNDATION TO PERMIT INSTALLATION OF CONCRETE FLOOR SLAB.

13. REMOVE EXISTING STOVE AND COORDINATE DISCONNECTION WITH M/E/P.

14. REMOVE EXISTING REFRIGERATOR AND COORDINATE DISCONNECTION OF ALL POWER WITH M/E/P.

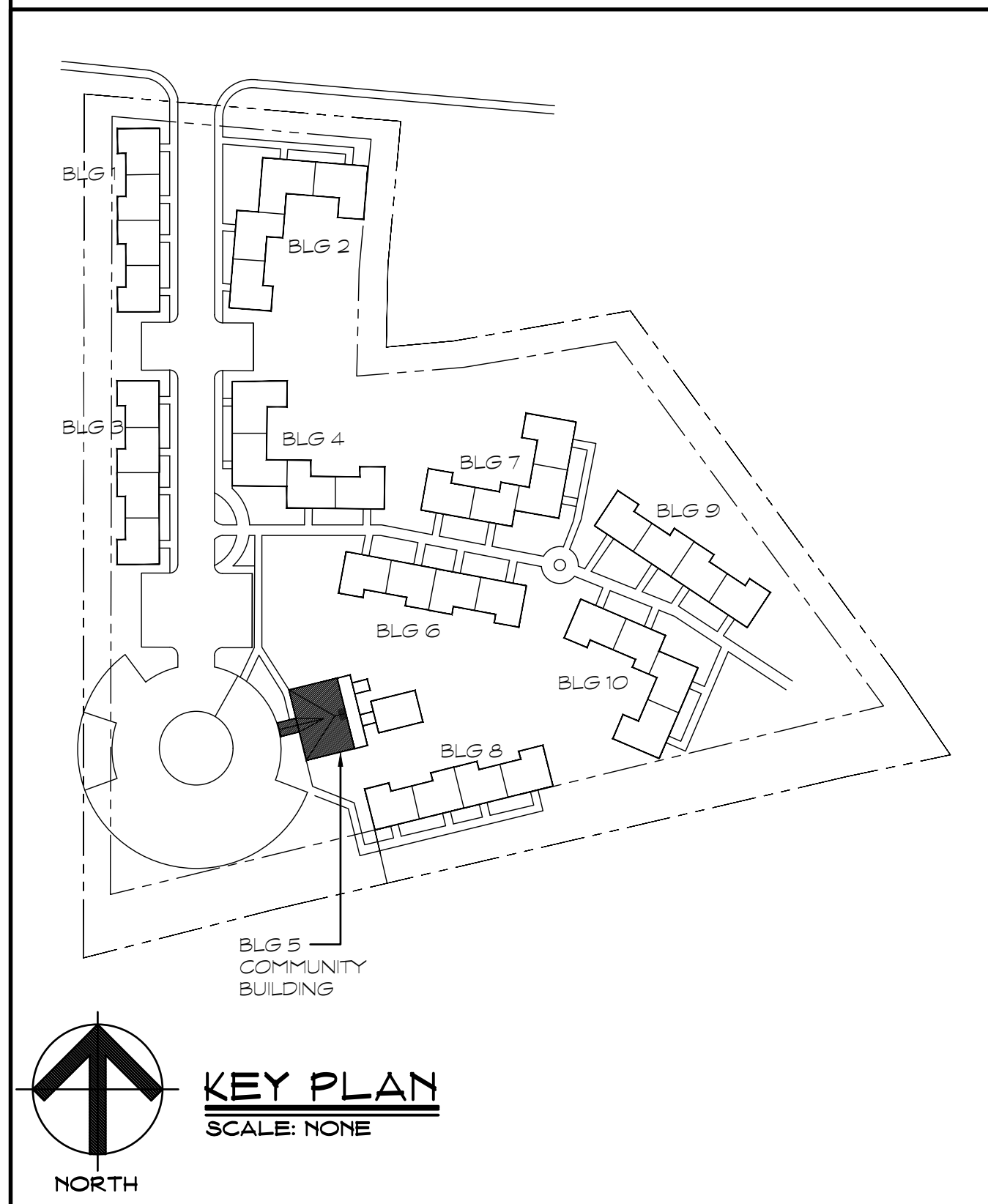
15. REMOVE ALL EXISTING LAYERS OF FINISHED FLOORING SYSTEM, INCLUDING UNDERLAYMENTS AND ADHESIVE WITHIN ENTIRE ROOM. CONCRETE SLAB TO REMAIN, READY TO RECEIVE NEW FLOORING.

16. REMOVE EXISTING WALL BASE WITHIN ENTIRE ROOM.

17. REMOVE EXISTING "POPCORN" CEILING TEXTURE WITHIN ENTIRE ROOM. PROVIDE SMOOTH SURFACE READY TO RECEIVE NEW CEILING FINISH.

18. REMOVE EXISTING WINDOW TREATMENTS AND RETURN TO OWNER.

19. REMOVE DISHWASHER AND RETURN TO OWNER.





SYMBOL LEGEND

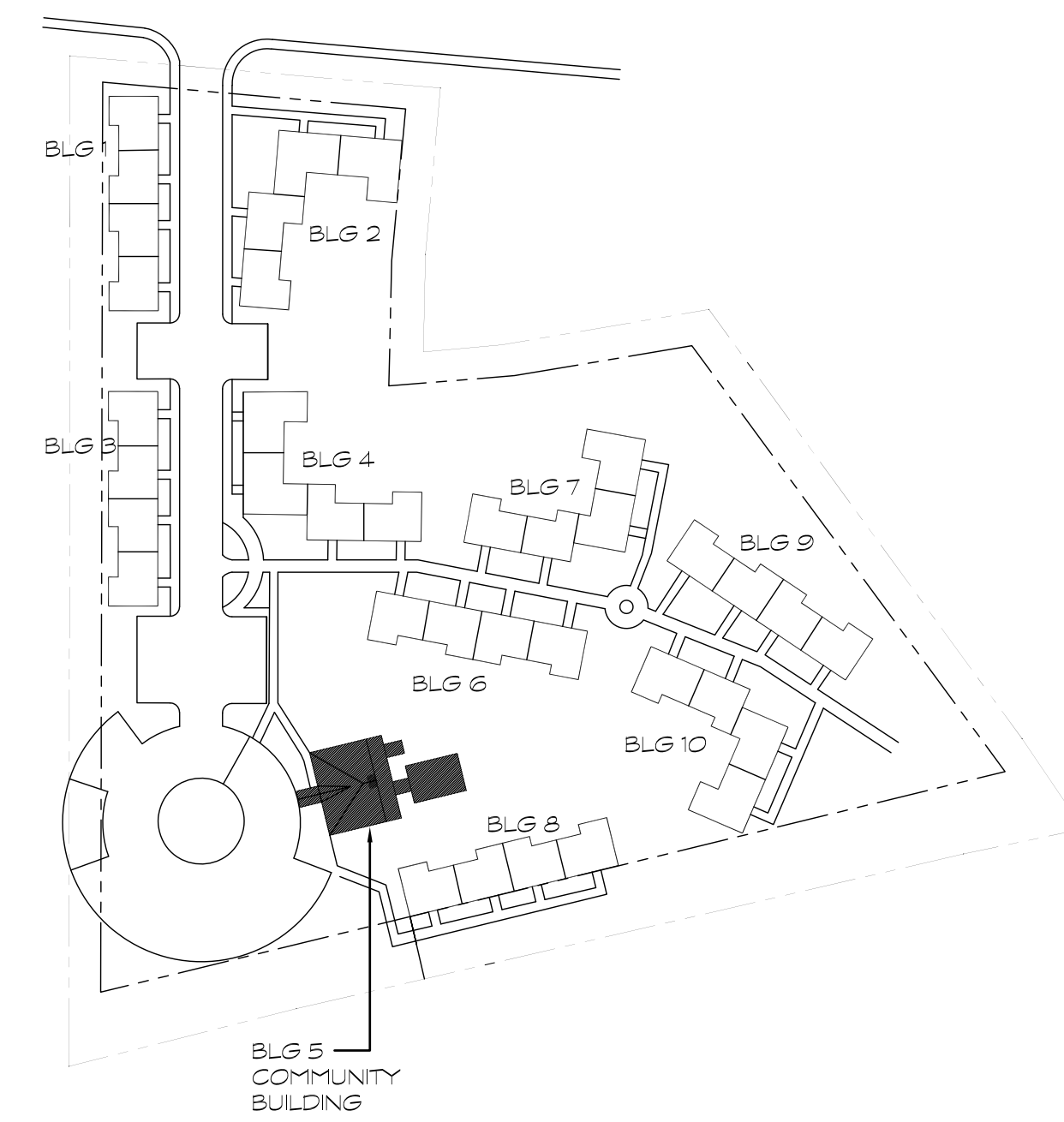
- EXISTING WALLS TO REMAIN  
NEW CONCRETE MASONRY UNIT WALLS  
SEE WALL TYPES, SEE STRUCT. DWGS  
NEW COLD FORMED METAL STUD WALLS  
SEE WALL/PARTITION TYPES
- NEW DOOR, SEE SCHEDULE
- DOOR NUMBER - ALSO SEE DOOR SCHEDULE
- ROOM NUMBER - ALSO SEE FINISH SCHEDULE
- WALL/PARTITION TYPES
- COLUMN GRID DESIGNATION
- WORK SCOPE NOTE (NUMBER)
- WINDOW DESIGNATION  
U OR L DESIGNATES UPPER OR LOWER WINDOW UNIT
- SECTION NUMBER  
SHEET NUMBER
- ELEVATION DESIGNATION (FOR EACH WALL IN ROOM) WITH DETAIL (SOME MAY NOT BE USED)
- DETAIL NUMBER  
SHEET NUMBER
- DETAIL NUMBER  
SHEET NUMBER
- A.W.C. ACCESSIBLE WATER COOLER  
D.F. DRINKING FOUNTAIN  
REVISION TAG
- SIGN LOCATION, ALSO SEE DOOR SCHEDULE  
AND SIGN DETAILS - NOT ALL SIGNS SHOWN IN PLAN

CONSTRUCTION GENERAL NOTES

- COORDINATE ALL CONSTRUCTION WORK, PROJECT MANUAL, AND DRAWINGS.
- CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND QUANTITIES OF CONSTRUCTION WORK.
- INFILL AND REPAIR EXISTING CONCRETE SLAB AT ALL SLAB CUTS CREATED WITHIN THIS PROJECT SCOPE. SEE DETAIL 3 FOR INFILL AT TRENCHES. COORDINATE LOCATION OF TRENCHING WITH ALL MEP DRAWINGS.
- PATCH AND REPAIR GYPSUM WALL BOARD AND ASSOCIATED WALL BASE AT DEMOLITION LOCATIONS. REPAIR TO CREATE UNIFORM FINISH AT ENTIRE PLANE OF AFFECTED WALL. MATCH EXISTING FINISHES UNLESS NOTED IN FINISH PLANS.
- MATCH NEW SLAB ON GRADE ELEVATION (WITHIN ADDITION) TO EXISTING SLAB ELEVATION UNLESS NOTED OTHERWISE.

CONSTRUCTION NOTES

- PRE-FINISHED/PRE-ENGINEERED PAVILION STRUCTURE, MANUFACTURER TO COORDINATE WITH ALL DRAWINGS FOR SPECIFIC DIMENSIONS, ESPECIALLY AT ALL DOOR AND WINDOW OPENINGS.

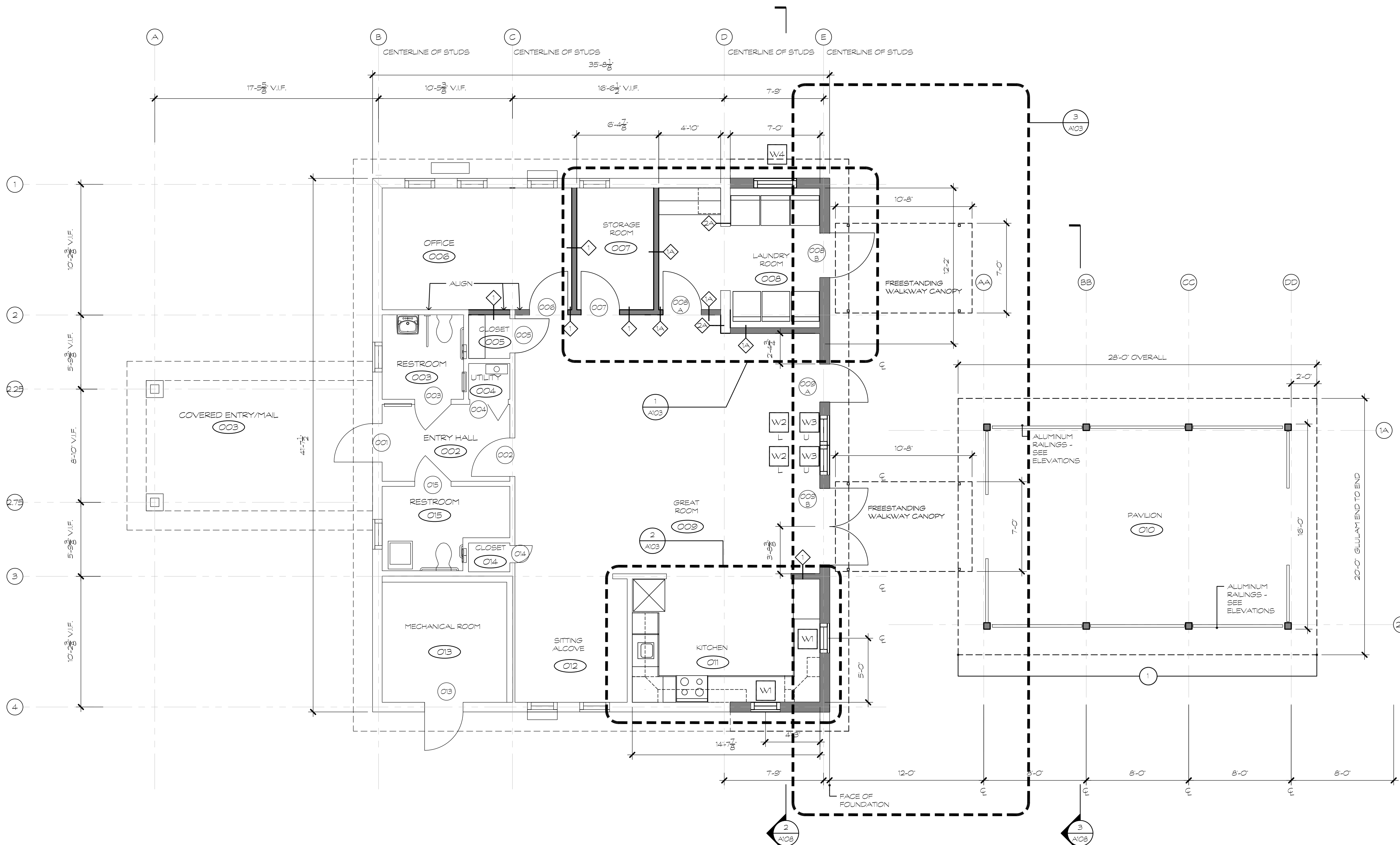


KEY PLAN  
SCALE: NONE

DATE: SEPTEMBER 16, 2022  
SCALE: AS NOTED  
DRAWN BY: BJV  
PROJECT NUMBER: 21007

Construction Plan

A102

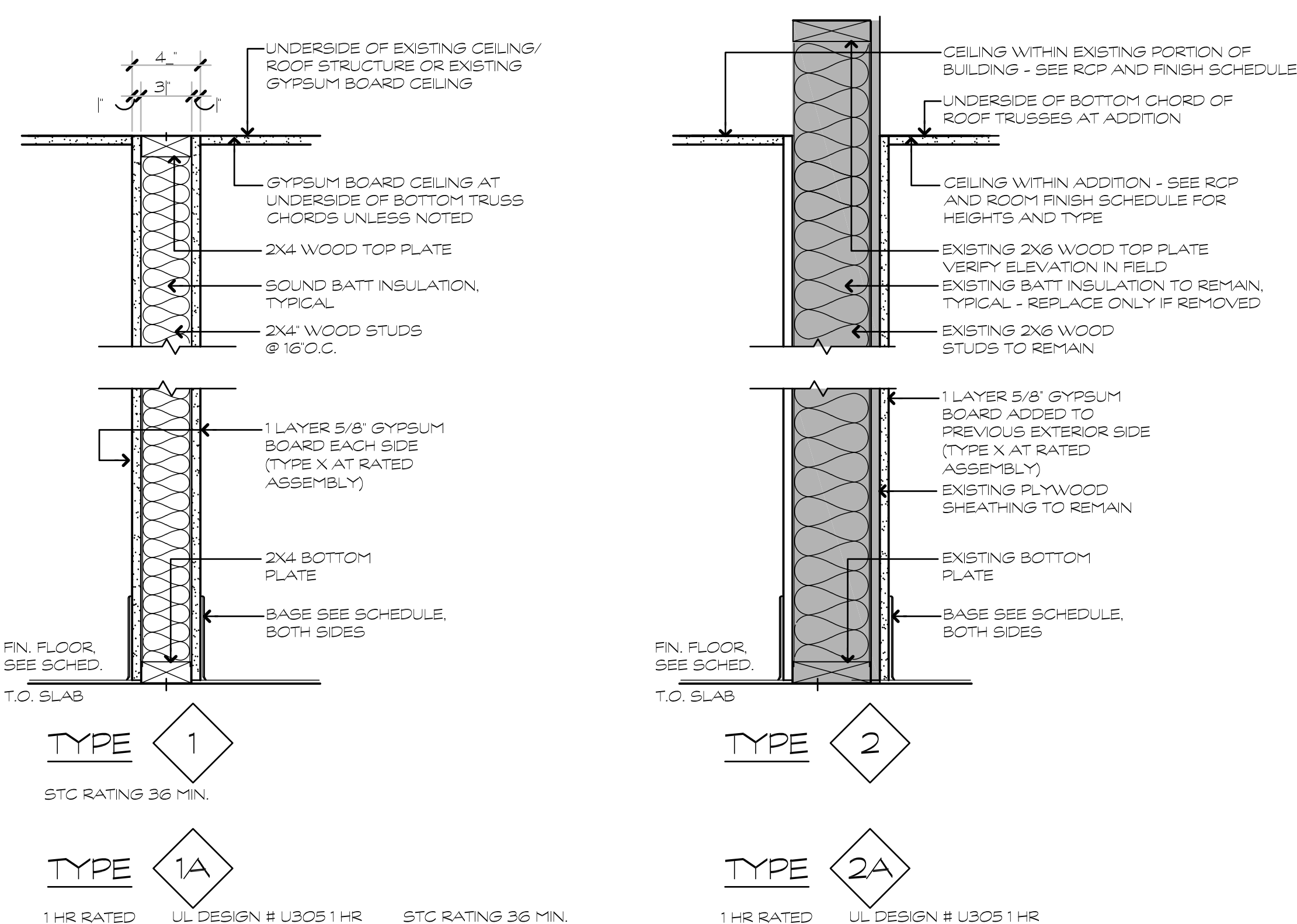


COMMUNITY CENTER CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"



REFERENCE PHOTO - BASIS OF DESIGN  
STANDING BEAM WALKWAY CANOPY -  
CUSTOMIZED TO THIS PROJECT

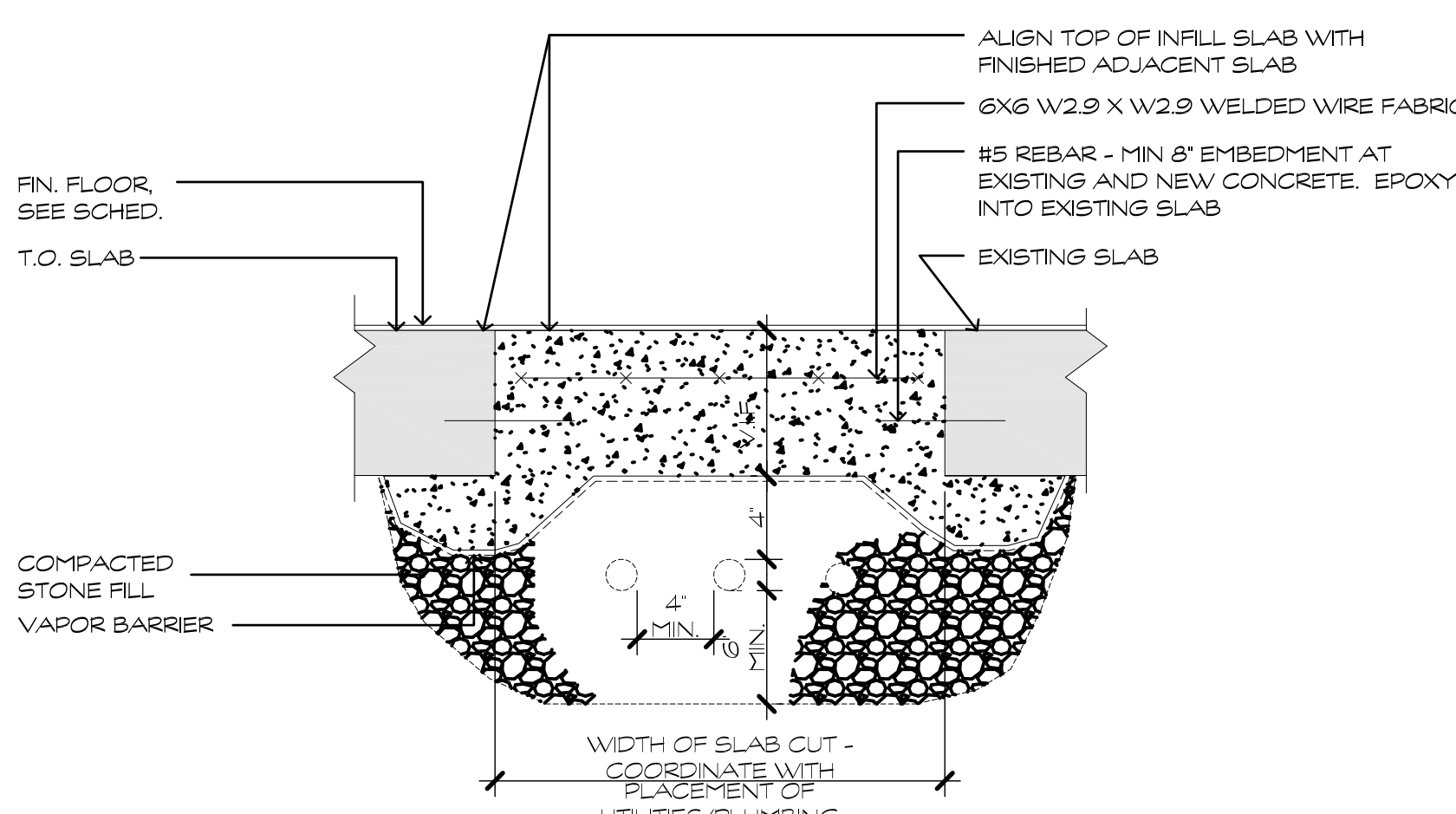


WALL TYPES

SCALE: 1/4" = 1'-0"

TRENCH DETAIL @ SLAB CUTS

SCALE: 1 1/2" = 1'-0"

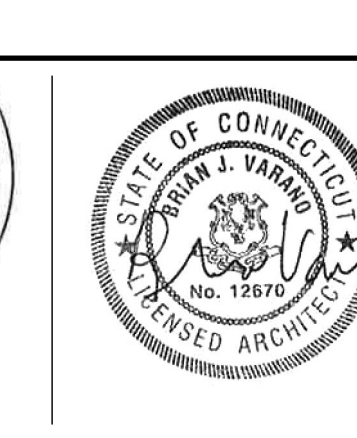
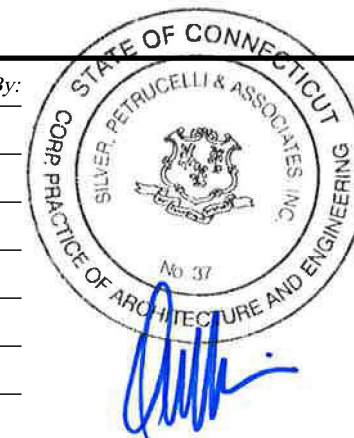


Project Title:  
Essex Housing Authority  
**Renovations at Essex Court**  
16 Main Street  
Centerbrook, CT 06409



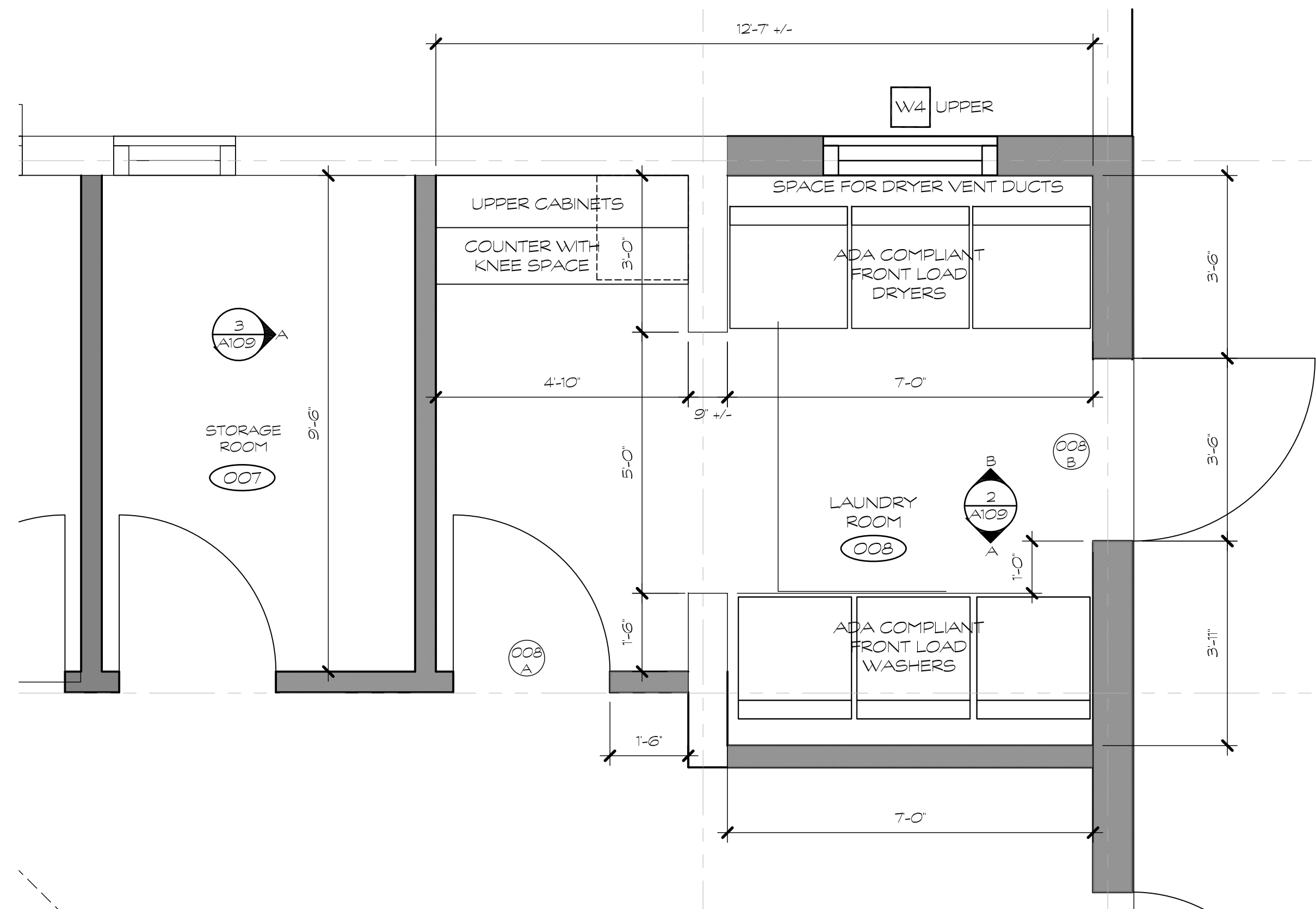
SILVER / PETRUCCELLI + ASSOCIATES  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucci.com

Revision: Description: Date: Revised By:  
BID DOCUMENTS 9/16/2022



Drawing Title:







SYMBOL LEGEND

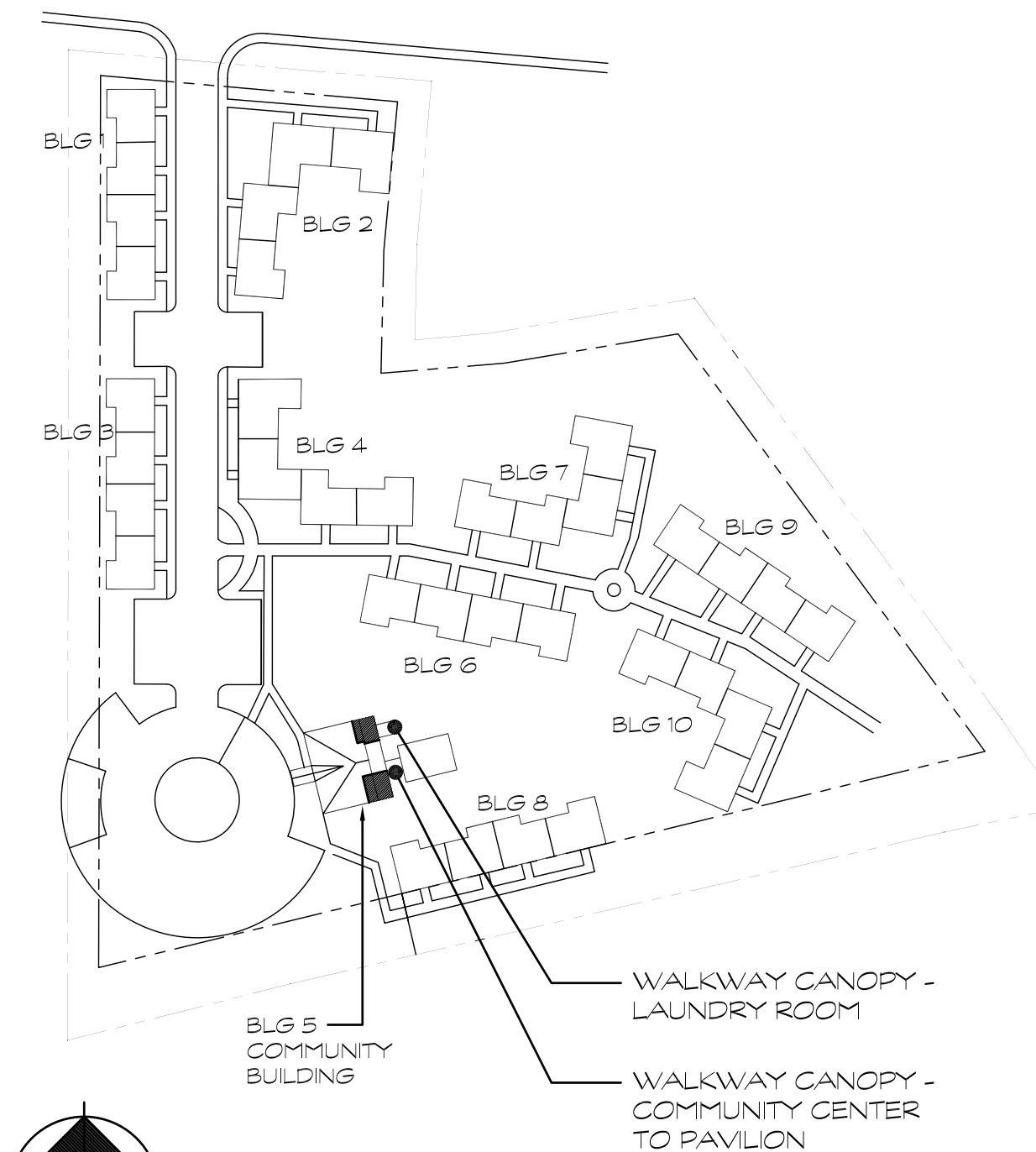
- EXISTING WALLS TO REMAIN  
NEW CONCRETE MASONRY UNIT WALLS  
SEE WALL TYPES, SEE STRUCT. DWGS  
NEW COLD FORMED METAL STUD WALLS  
SEE WALL/PARTITION TYPES
- NEW DOOR, SEE SCHEDULE
- DOOR NUMBER - ALSO SEE DOOR SCHEDULE
- ROOM NUMBER - ALSO SEE FINISH SCHEDULE
- WALL/PARTITION TYPES
- COLUMN GRID DESIGNATION
- WORK SCOPE NOTE (NUMBER)
- WINDOW DESIGNATION  
U OR L DESIGNATES UPPER OR LOWER WINDOW UNIT
- SECTION NUMBER  
SHEET NUMBER
- ELEVATION DESIGNATION (FOR EACH WALL IN ROOM) WITH DETAIL (SOME MAY NOT BE USED)
- DETAIL NUMBER  
SHEET NUMBER
- DETAIL NUMBER  
SHEET NUMBER
- A.W.C. ACCESSIBLE WATER COOLER  
D.F. DRINKING FOUNTAIN  
REVISION TAG
- S1 SIGN LOCATION, ALSO SEE DOOR SCHEDULE AND SIGN DETAILS - NOT ALL SIGNS SHOWN IN PLAN

CONSTRUCTION GENERAL NOTES

- COORDINATE ALL CONSTRUCTION WORK, PROJECT MANUAL, AND DRAWINGS.
- CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND QUANTITIES OF CONSTRUCTION WORK.
- INFILL AND REPAIR EXISTING CONCRETE SLAB AT ALL SLAB CUTS CREATED WITHIN THIS PROJECT SCOPE. SEE DETAIL 3 FOR INFILL AT TRENCHES. COORDINATE LOCATION OF TRENCHING WITH ALL MEP DRAWINGS.
- PATCH AND REPAIR GYPSUM WALL BOARD AND ASSOCIATED WALL BASE AT DEMOLITION LOCATIONS. REPAIR TO CREATE UNIFORM FINISH AT ENTIRE PLANE OF AFFECTED WALL. MATCH EXISTING FINISHES UNLESS NOTED IN FRSH PLANS.
- MATCH NEW SLAB ON GRADE ELEVATION (WITHIN ADDITION) TO EXISTING SLAB ELEVATION UNLESS NOTED OTHERWISE.

CONSTRUCTION NOTES

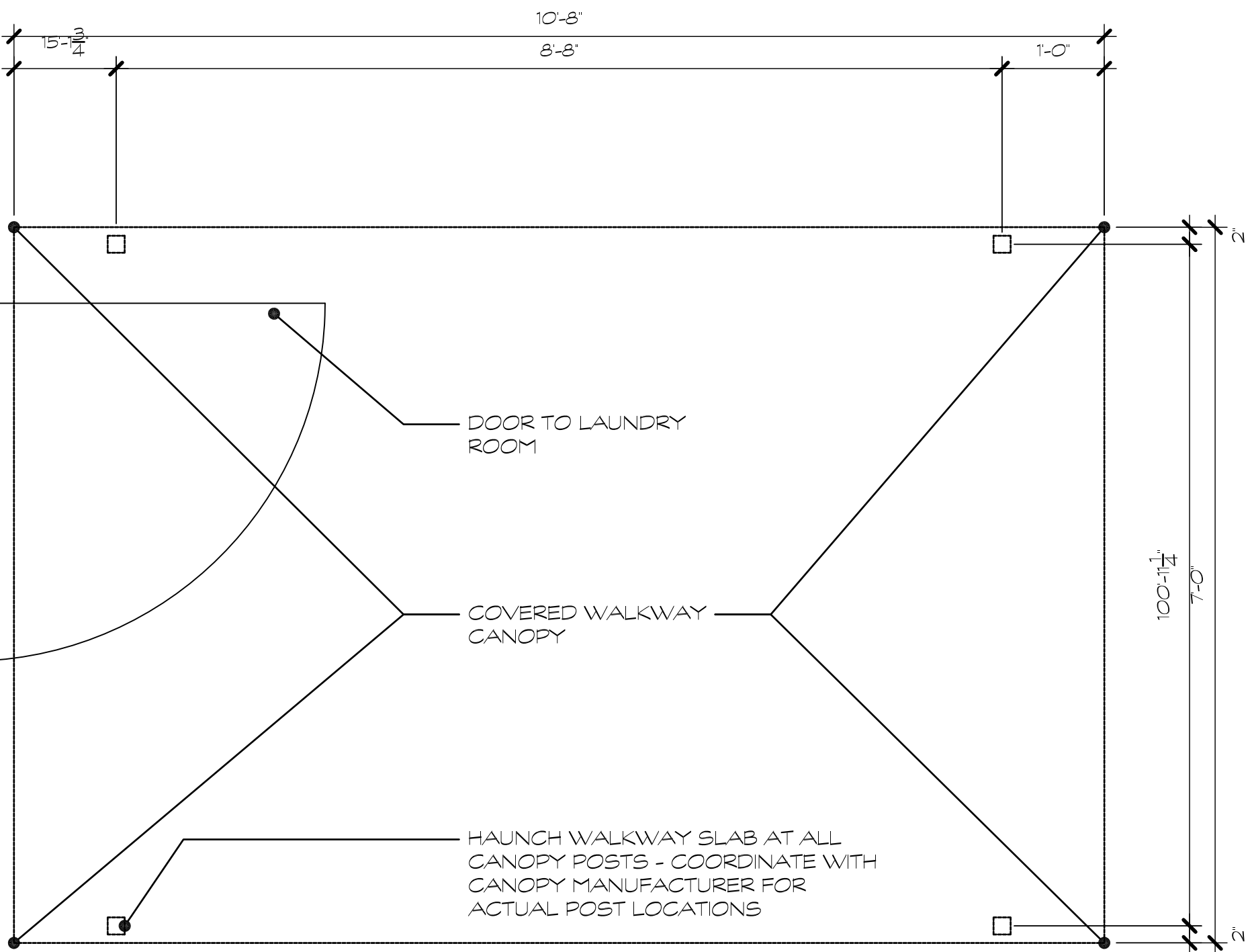
- PRE-FINISHED/PRE-ENGINEERED PAVILION STRUCTURE AS MANUFACTURED BY MITCHELL METALS LLC, DITTMER ARCHITECTURAL ALUMINUM, OR APPROVED EQUAL MANUFACTURER TO COORDINATE WITH ALL DRAWINGS FOR SPECIFIC DIMENSIONS, ESPECIALLY AT ALL DOOR AND WINDOW OPENINGS.



KEY PLAN  
SCALE: NONE

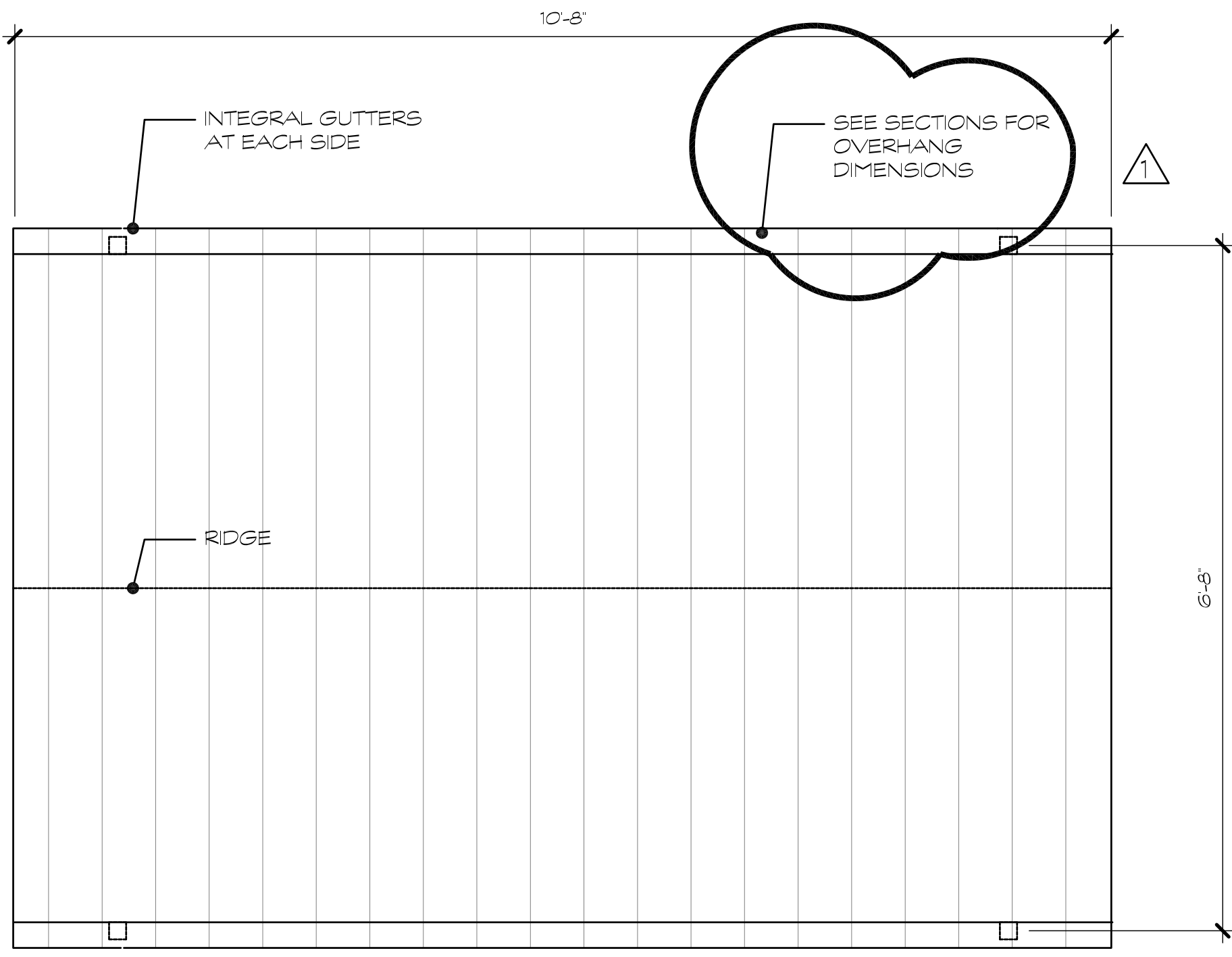
DATE: SEPTEMBER 16, 2022  
SCALE:  
AS NOTED  
DRAWN BY: BUJ  
PROJECT NUMBER: 21007

A103.1



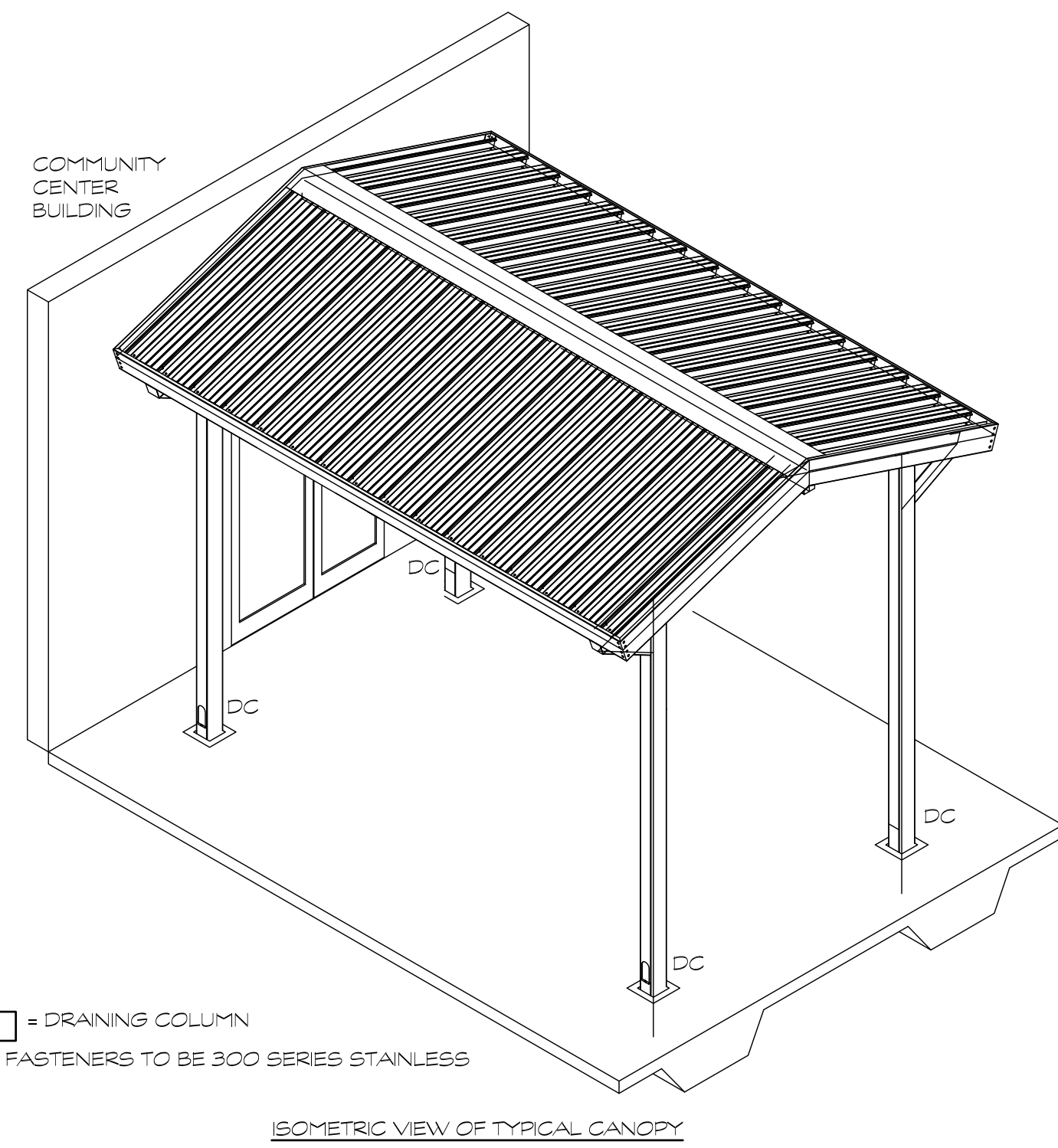
WALKWAY CANOPY (LAUNDRY ROOM ENTRY) PLAN - 1

SCALE: 1/2" = 1'-0"



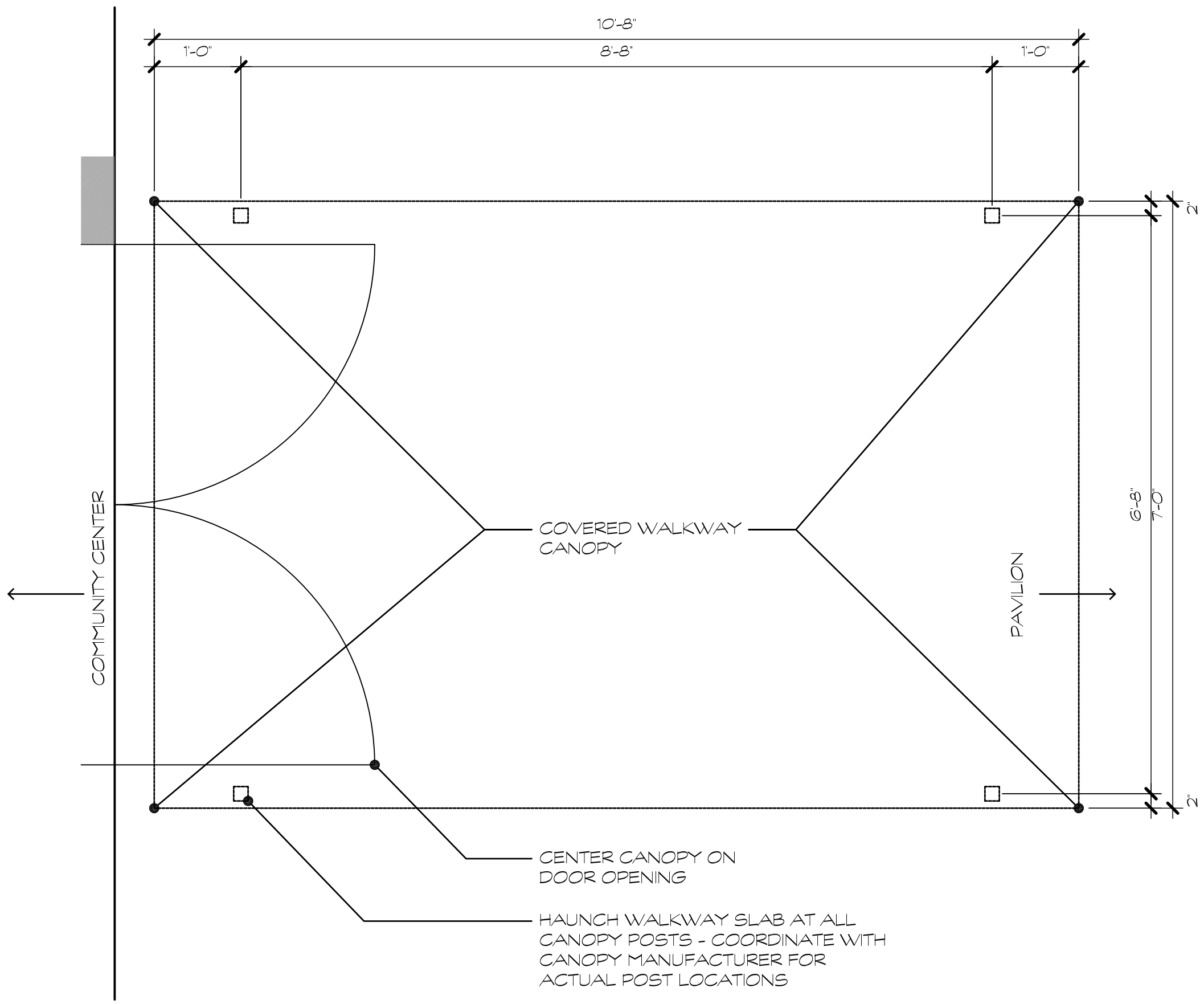
WALKWAY CANOPY (LAUNDRY ROOM ENTRY) PLAN - 2

SCALE: 1/2" = 1'-0"



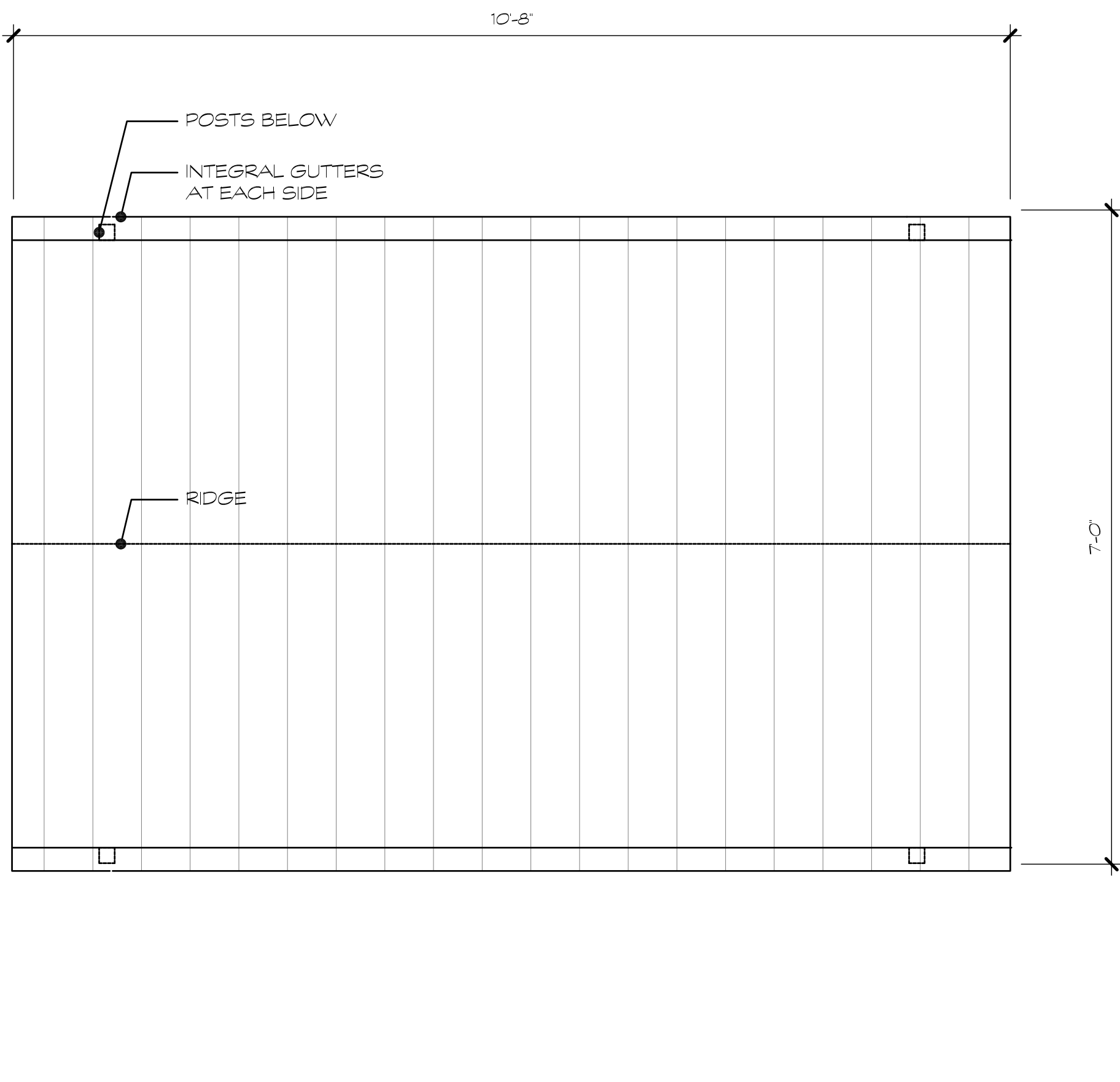
DC = DRAINING COLUMN  
ALL FASTENERS TO BE 300 SERIES STAINLESS

ISOMETRIC VIEW OF TYPICAL CANOPY



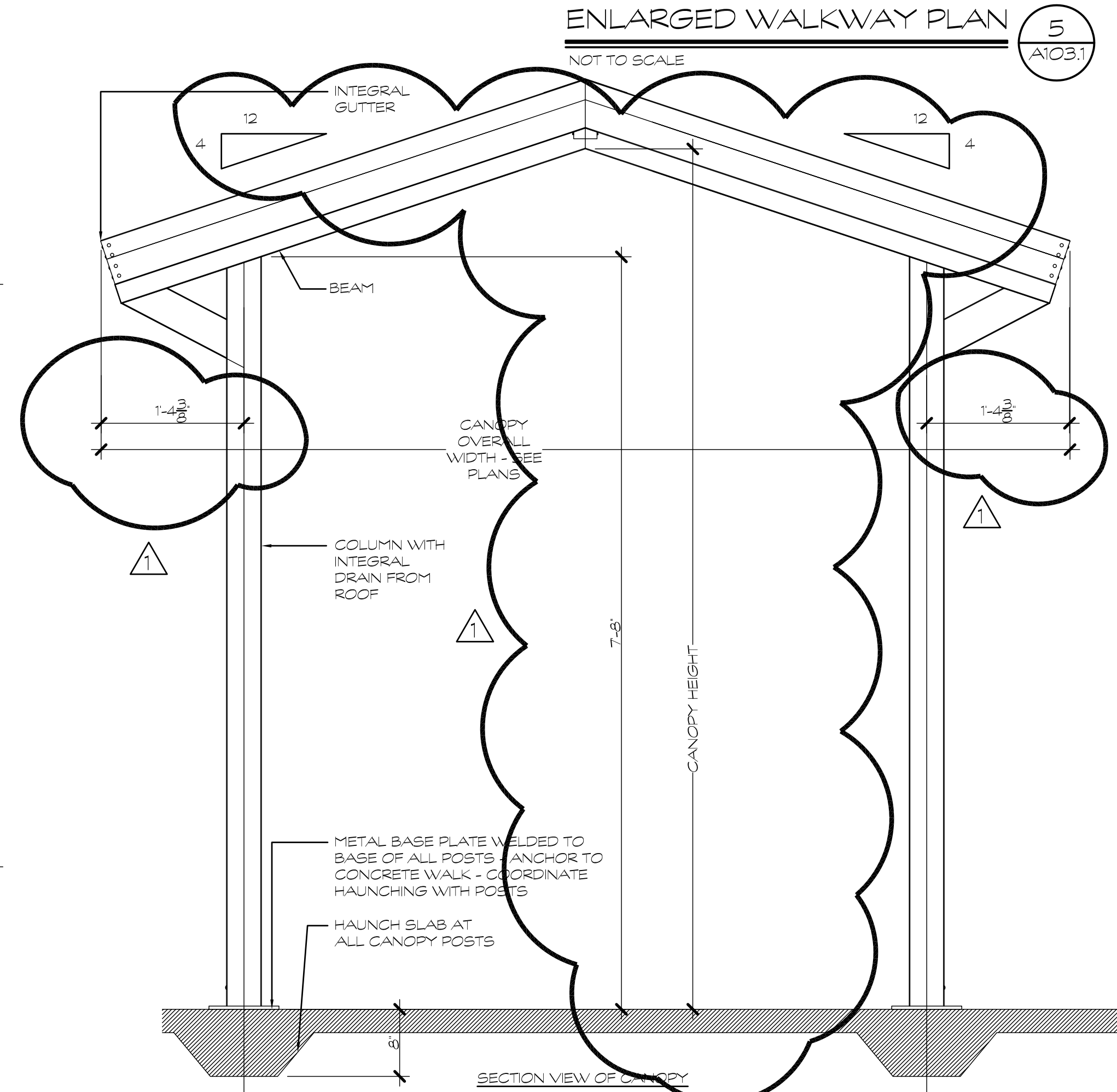
WALKWAY CANOPY (CONNECTING PAVILION) PLAN - 3

SCALE: 1/2" = 1'-0"



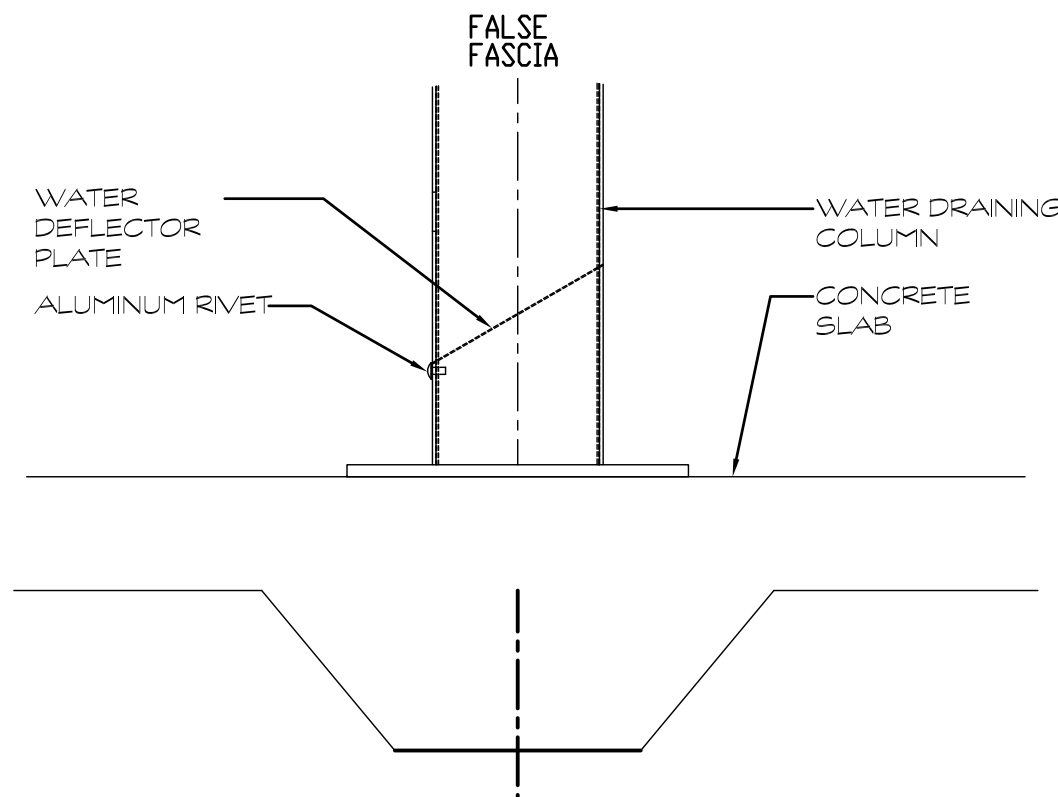
WALKWAY CANOPY (CONNECTING PAVILION) PLAN - 4

SCALE: 1/2" = 1'-0"



ENLARGED WALKWAY PLAN - 5

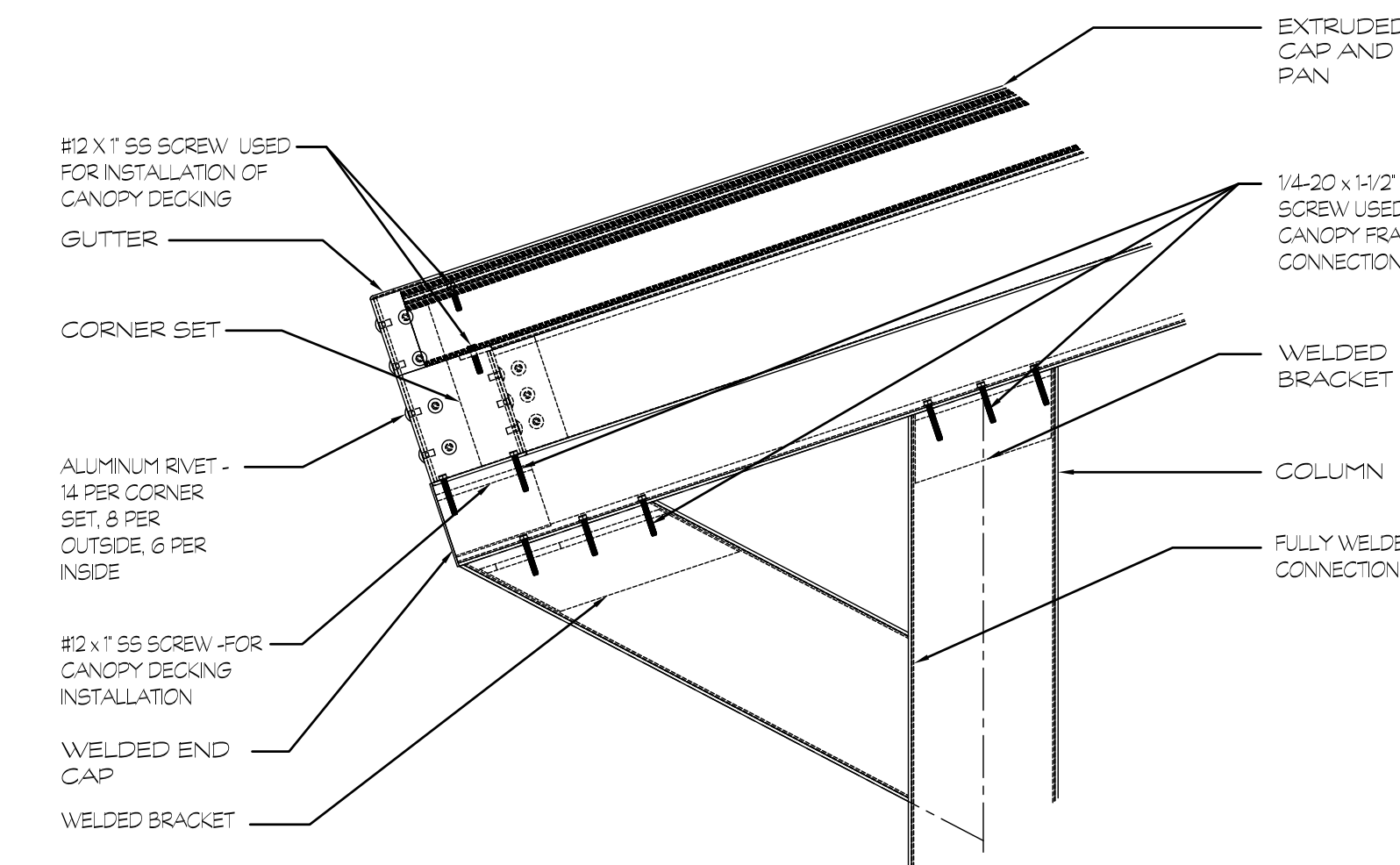
SCALE: 1/4" = 1'-0"



COLUMN BASE DETAIL

SCALE: 1" = 1'-0"

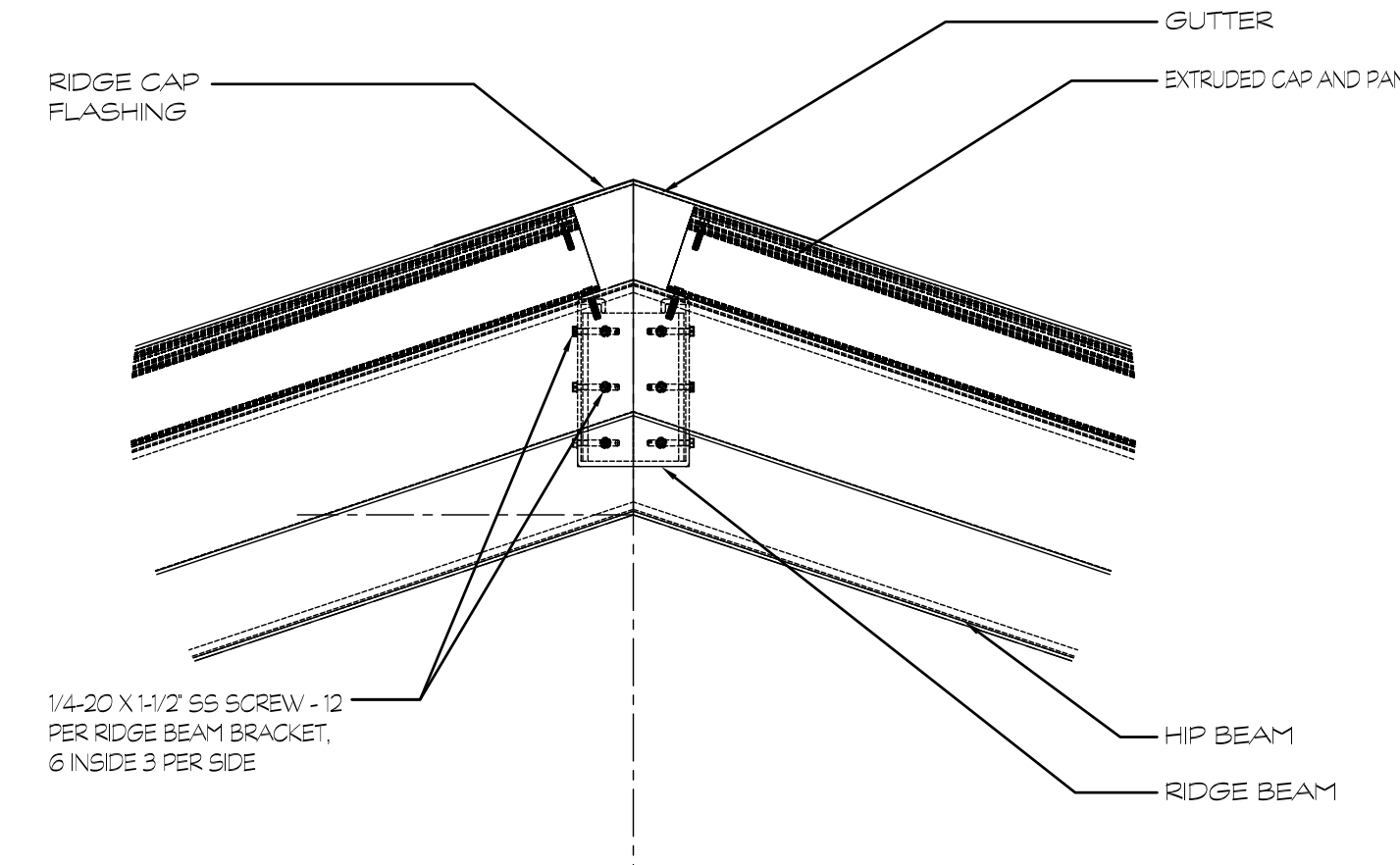
A103.1



EAVE DETAIL

SCALE: 1" = 1'-0"

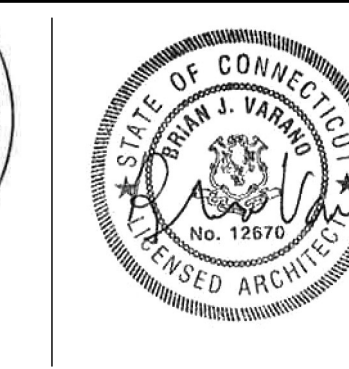
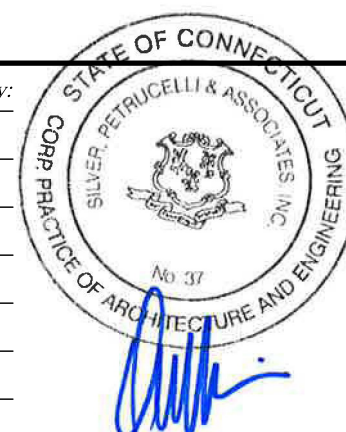
B103.1



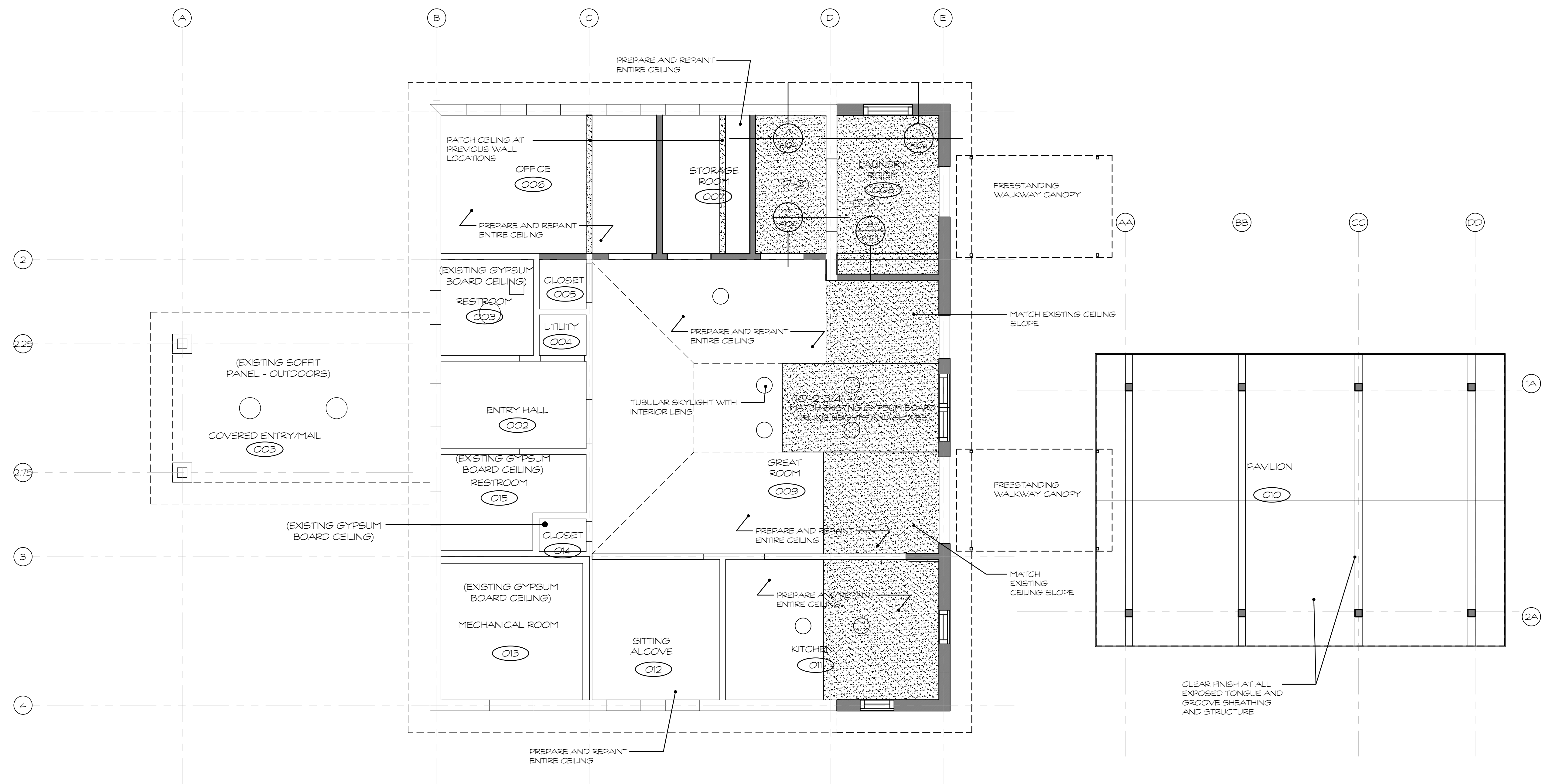
RIDGE DETAIL

SCALE: 1" = 1'-0"

C103.1







# COMMUNITY CENTER RCP

SCALE: 1/4" = 1'-0"

1  
A104

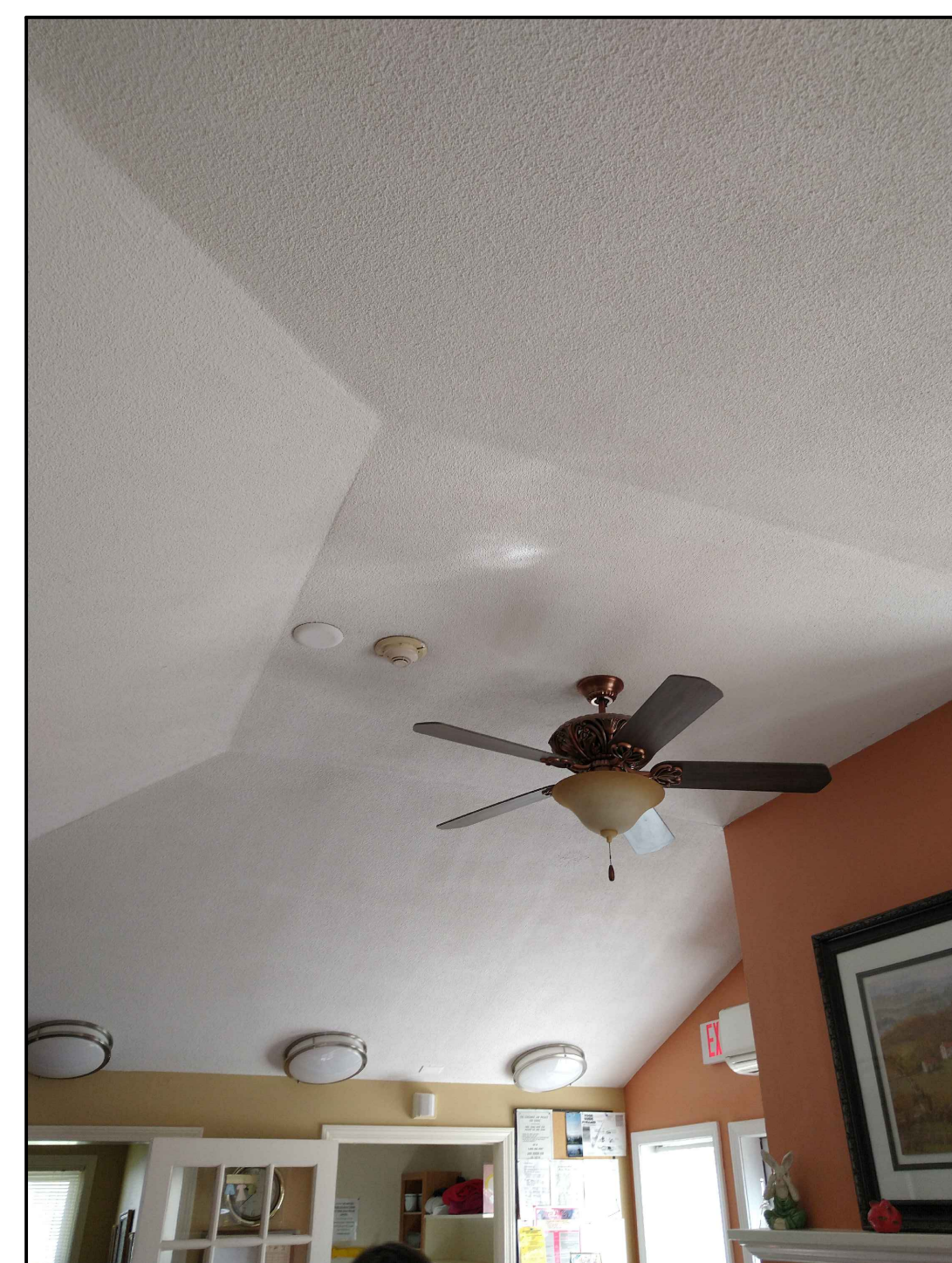
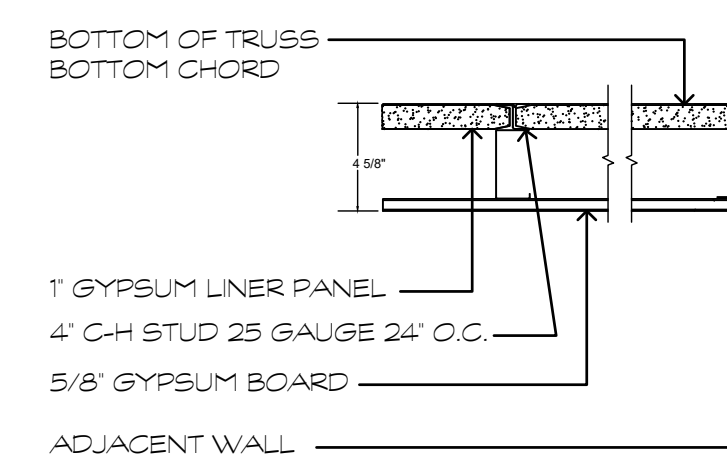


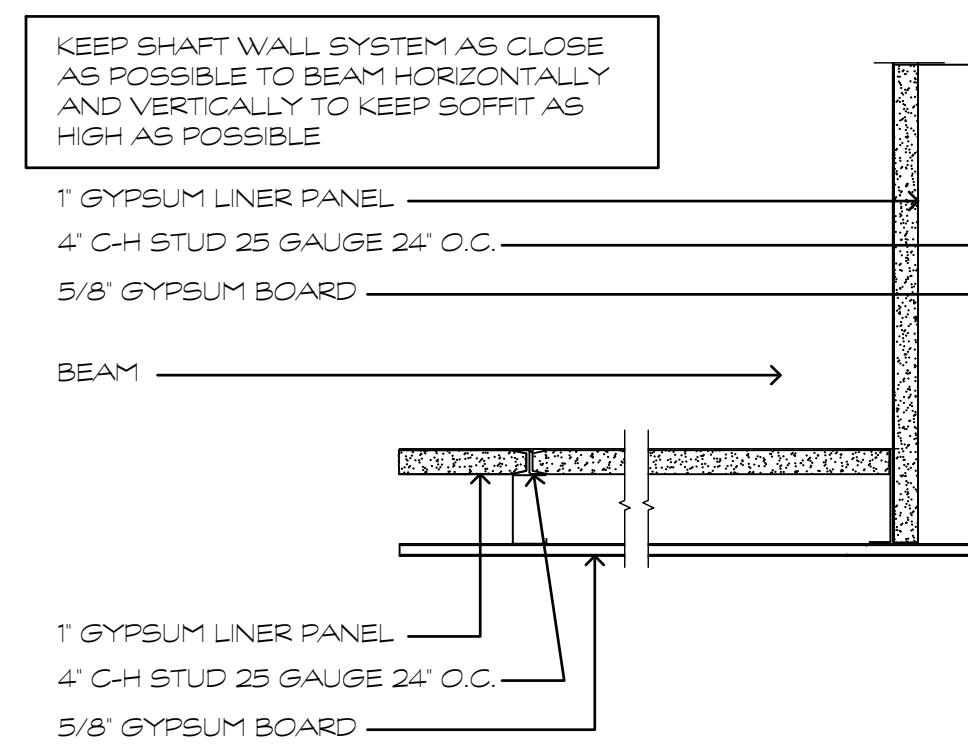
PHOTO 1  
EXISTING CATHEDRAL CEILING



# HORIZONTAL SHAFT WALL CEILING (1 HR)

SCALE: 1/4" = 1'-0"

A  
A104



# HORIZONTAL SHAFT WALL SOFFIT (1 HR)

SCALE: 1/4" = 1'-0"

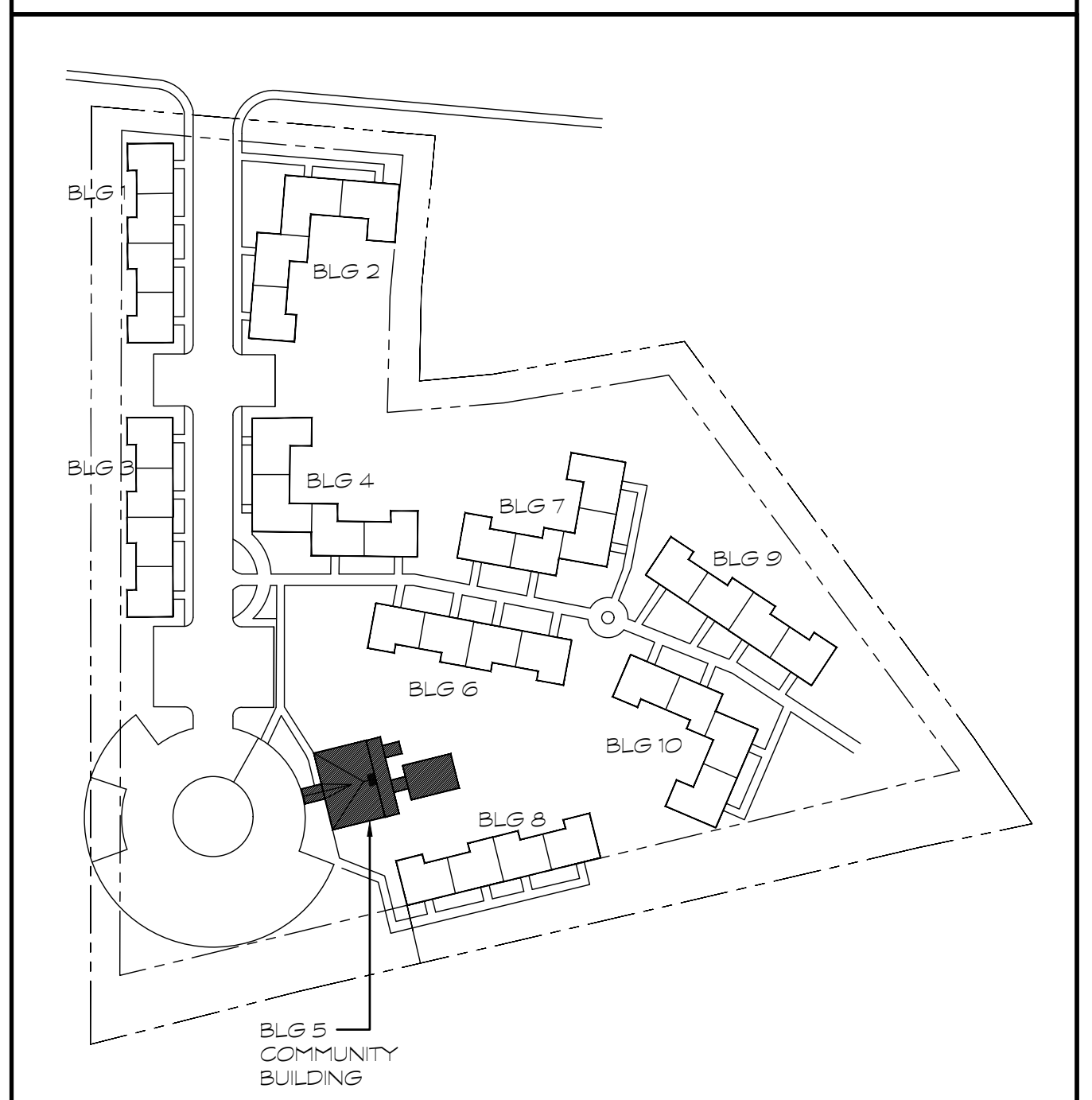
B  
A104

## R.C.P. SYMBOL LEGEND

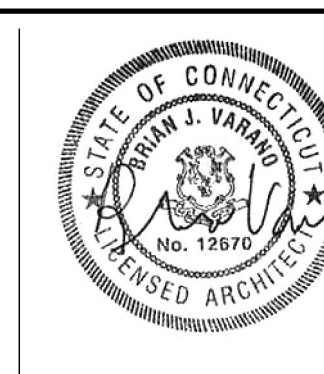
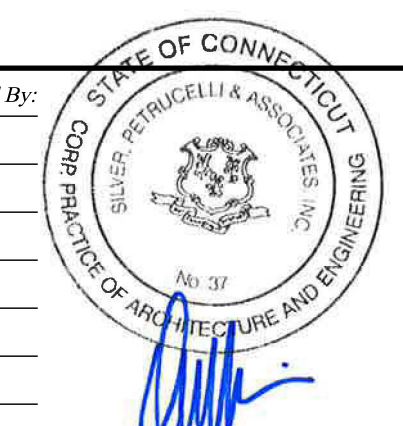
- 2' x 4' SUSPENDED ACOUSTICAL CEILING SYSTEM, SEE FINISH SCHEDULE AND PROJECT MANUAL.
- EXISTING CEILING GRID TO REMAIN.
- GYPSUM BOARD CEILING OR SOFFIT, PAINTED.
- EXISTING GYPSUM BOARD CEILING OR SOFFIT, PAINTED.
- LIGHTING FIXTURES, SEE ELECTRICAL LIGHTING DRAWINGS.
- WALL MOUNTED LIGHTING FIXTURE - ALSO SEE ELEVATIONS.
- PENDANT LIGHTING FIXTURES, SEE ELECTRICAL LIGHTING DRAWINGS.
- SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS.
- RETURN GRILLE, SEE MECHANICAL DRAWINGS.
- EXISTING 2x4 OR 2x2 LIGHTING FIXTURES TO REMAIN.
- EXISTING LIGHTING FIXTURES TO REMAIN.
- EXISTING WALL MOUNTED LIGHTING FIXTURES TO REMAIN.
- EXISTING SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS.
- EXISTING RETURN GRILLE, SEE MECHANICAL DRAWINGS.
- (9'-4") INDICATES CEILING HEIGHT - NOT SHOWN AT EXISTING CEILINGS TO REMAIN OR MATCH TO EXISTING LOCATIONS.
- 1  
A104 DETAIL NUMBER, SHEET NUMBER.

## R.C.P. GENERAL NOTES

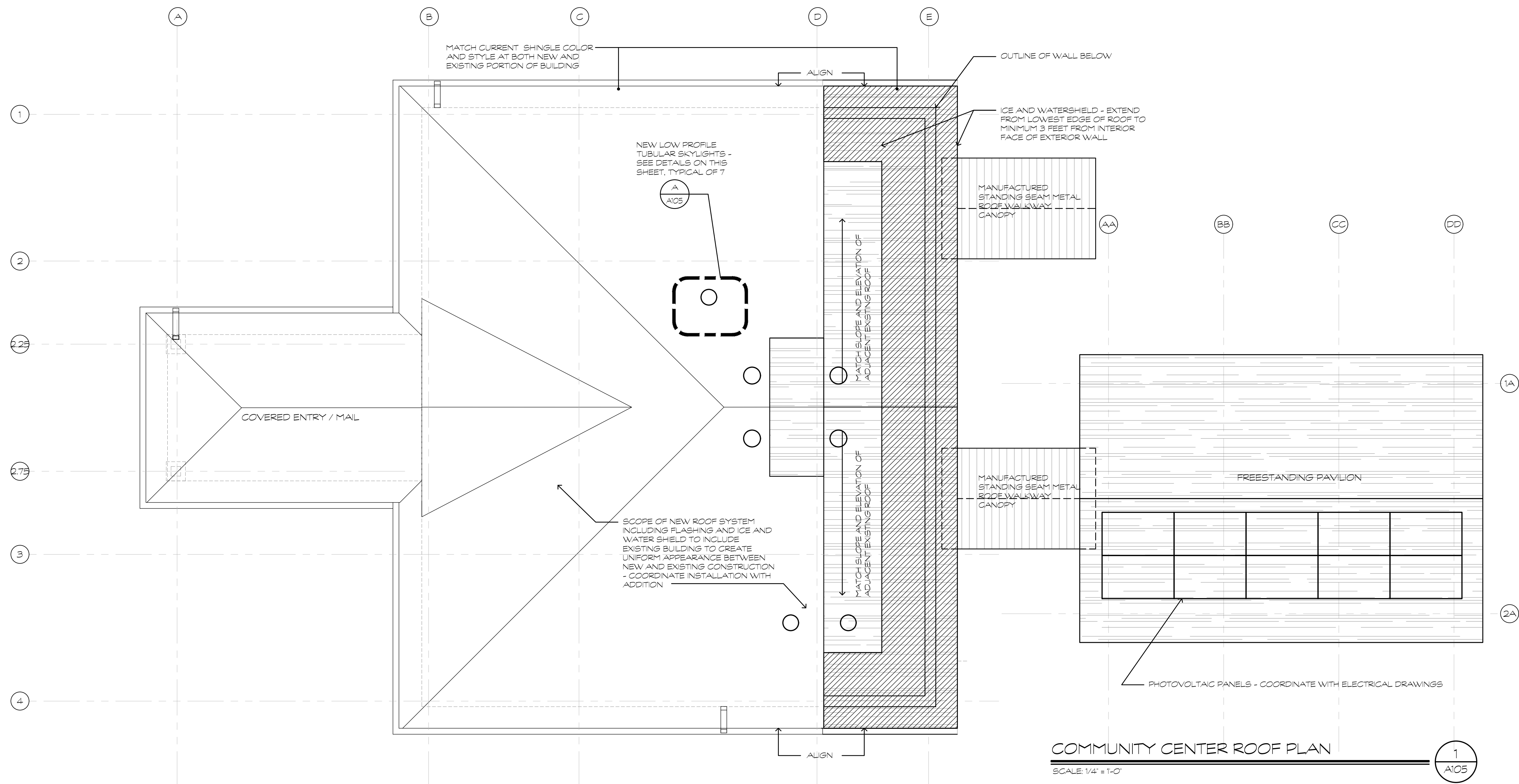
- FOR ADDITIONAL LIGHTING INFORMATION - SEE ELECTRICAL DRAWINGS.
- FOR ADDITIONAL MECHANICAL INFORMATION - SEE MECHANICAL DRAWINGS.
- FOR CEILING HEIGHTS AND TYPE OF TILE OR PANEL SEE ALSO ROOM FINISH SCHEDULE AND PROJECT MANUAL.



NORTH  
KEY PLAN  
SCALE: NONE



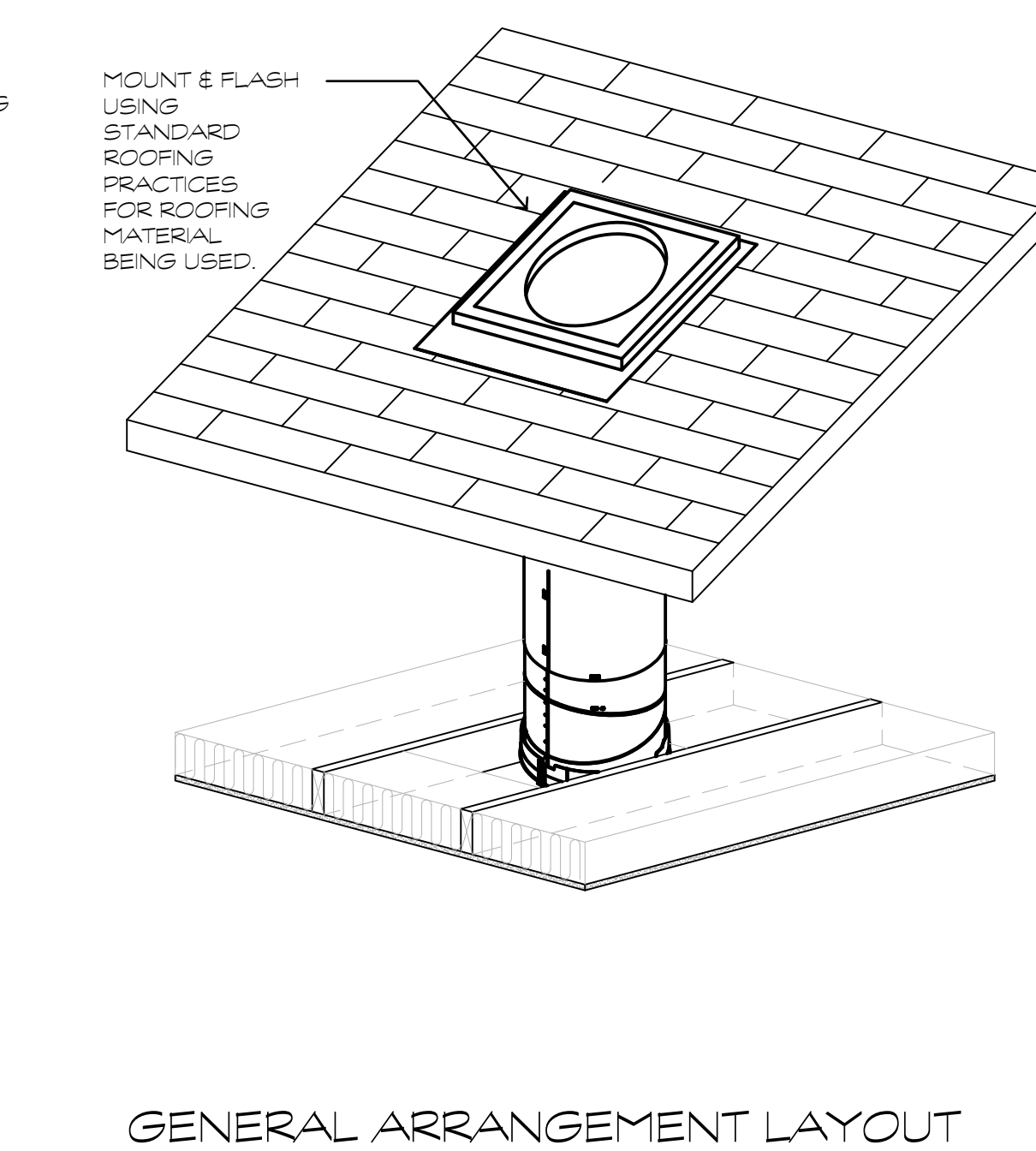
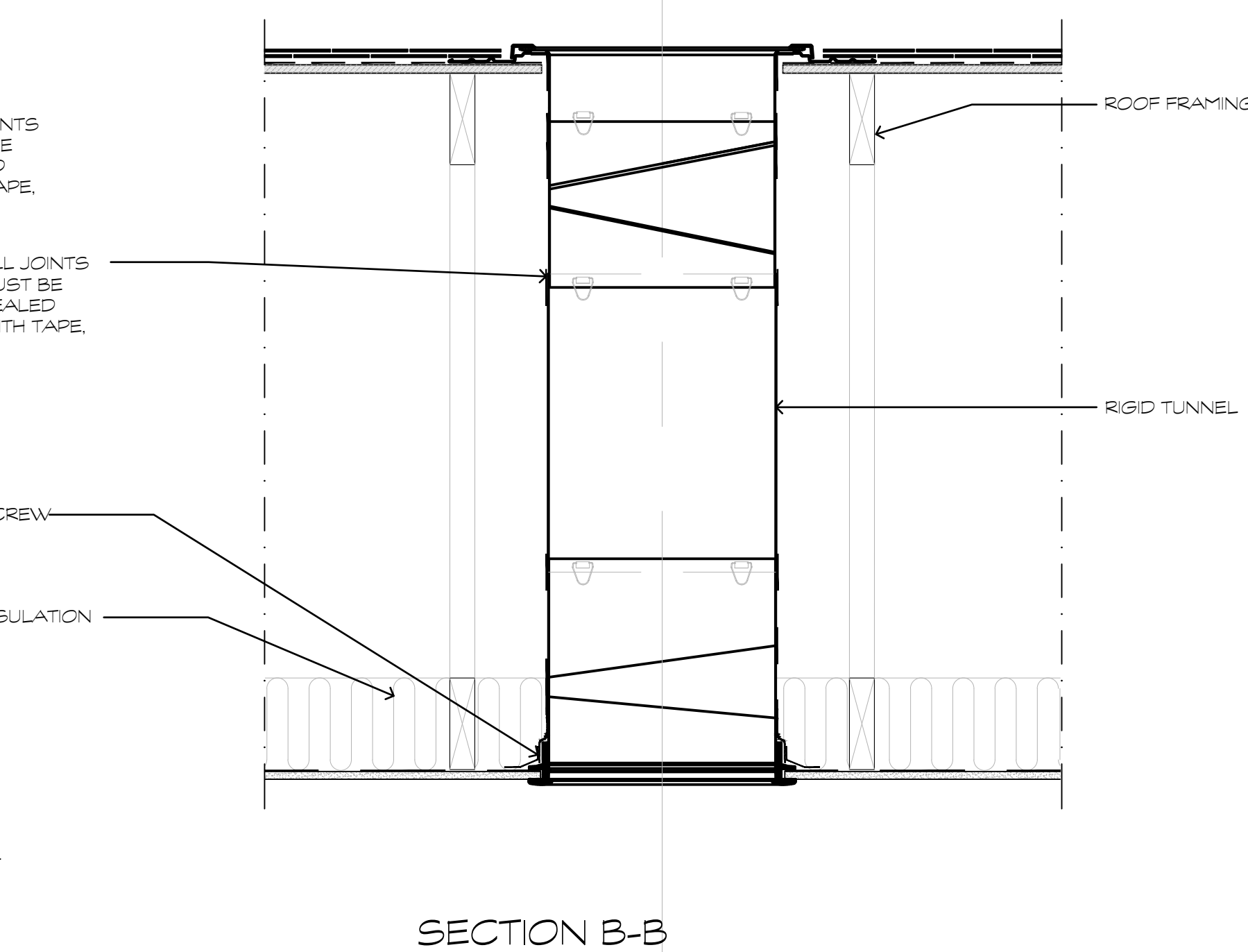
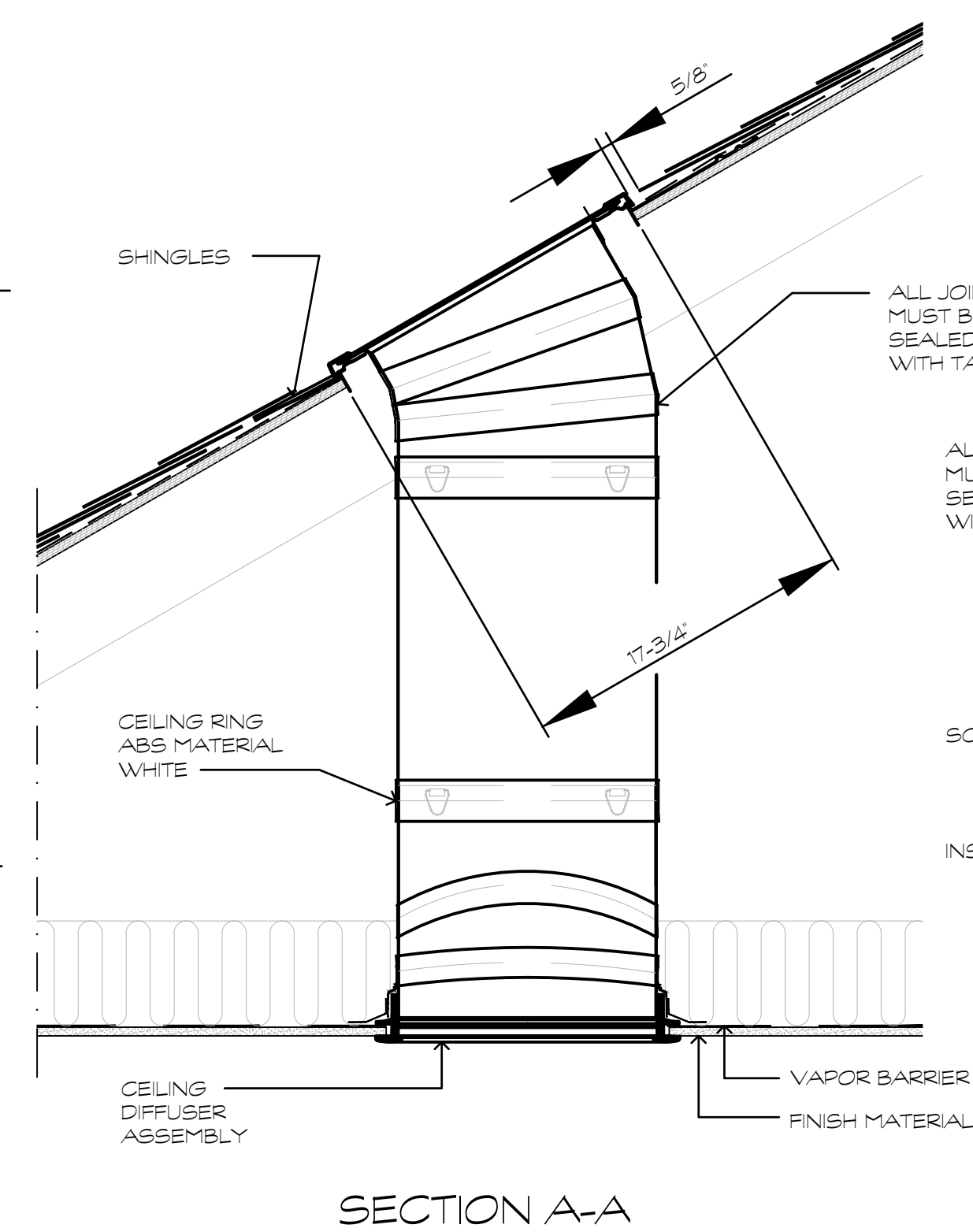
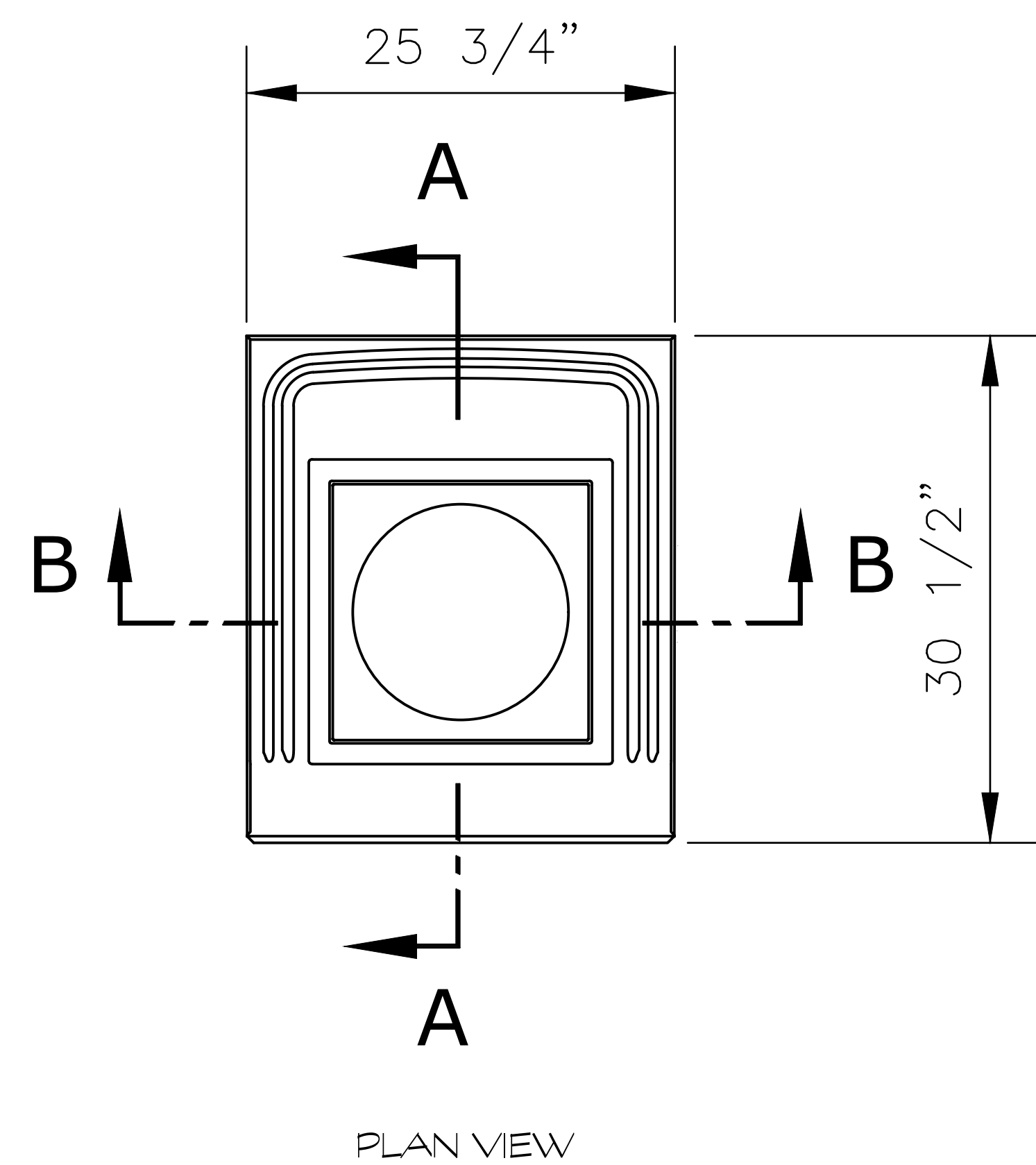




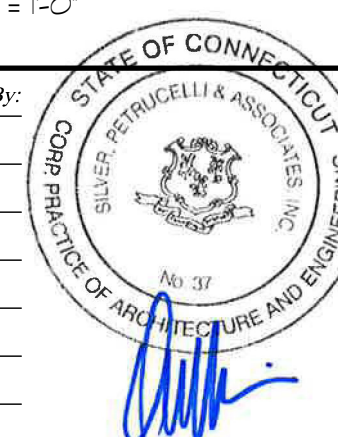
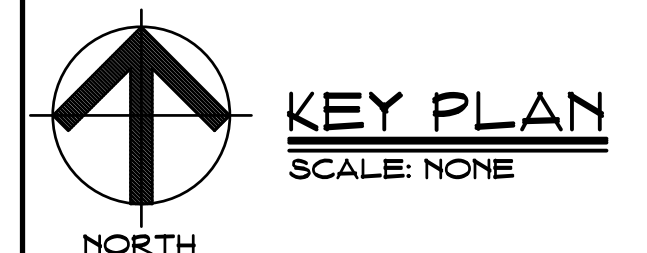
- SYMBOL LEGEND**
- EXISTING WALLS TO REMAIN
  - NEW CONCRETE MASONRY UNIT WALLS  
SEE WALL TYPES, SEE STRUCT. DWGS
  - NEW COLD FORMED METAL STUD WALLS  
SEE WALL/PARTITION TYPES
  - NEW DOOR, SEE SCHEDULE
  - DOOR NUMBER - ALSO SEE DOOR SCHEDULE
  - ROOM NUMBER - ALSO SEE FINISH SCHEDULE
  - WALL/PARTITION TYPES
  - COLUMN GRID DESIGNATION
  - WORK SCOPE NOTE (NUMBER)
  - WINDOW DESIGNATION
  - DESIGNATES UPPER OR LOWER WINDOW UNIT
  - SECTION NUMBER  
SHEET NUMBER
  - ELEVATION DESIGNATION (FOR EACH WALL IN ROOM) WITH DETAIL (SOME MAY NOT BE USED)
  - DETAIL NUMBER  
SHEET NUMBER
  - DETAIL NUMBER  
SHEET NUMBER
  - A.W.C. ACCESSIBLE WATER COOLER
  - D.F. DRINKING FOUNTAIN
  - REVISION TAG
  - SIGN LOCATION, ALSO SEE DOOR SCHEDULE AND SIGN DETAILS - NOT ALL SIGNS SHOWN IN PLAN

- CONSTRUCTION GENERAL NOTES**
- COORDINATE ALL CONSTRUCTION WORK, PROJECT MANUAL, AND DRAWINGS.
  - CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND QUANTITIES OF CONSTRUCTION WORK.
  - INFILL AND REPAIR EXISTING CONCRETE SLAB AT ALL SLAB CUTS CREATED WITHIN THIS PROJECT SCOPE. SEE DETAIL 3 FOR INFILL AT TRENCHES. COORDINATE LOCATION OF TRENCHING WITH ALL MEP DRAWINGS.
  - PATCH AND REPAIR GYPSUM WALL BOARD AND ASSOCIATED WALL BASE AT DEMOLITION LOCATIONS. REPAIR TO CREATE UNIFORM FINISH AT ENTIRE PLANE OF AFFECTED WALL. MATCH EXISTING FINISHES UNLESS NOTED IN FINISH PLANS.
  - MATCH NEW SLAB ON GRADE ELEVATION (WITHIN ADDITION) TO EXISTING SLAB ELEVATION UNLESS NOTED OTHERWISE.

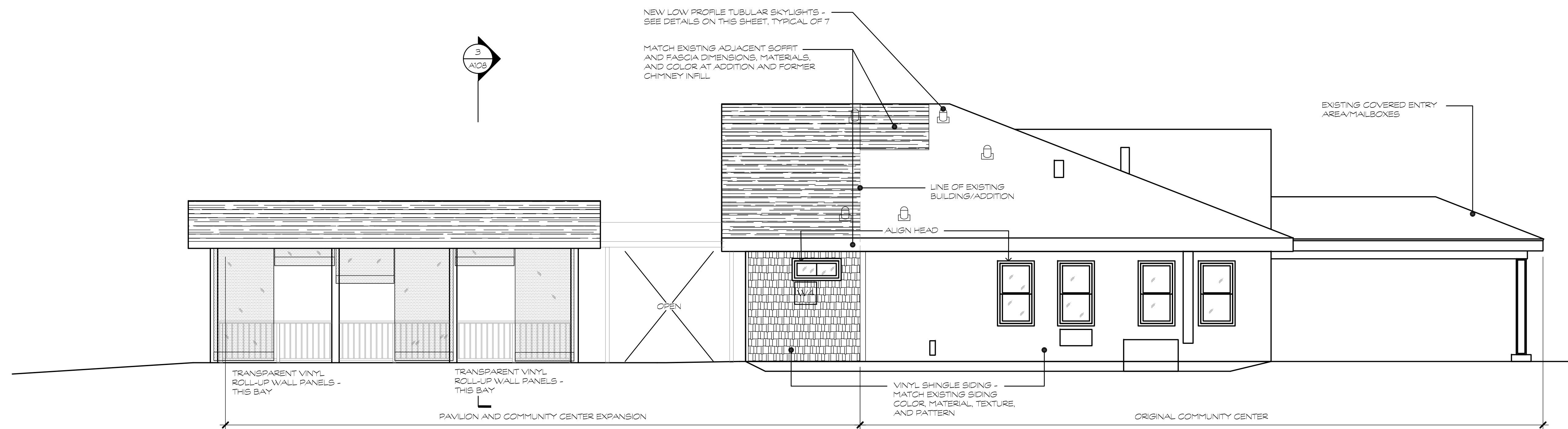
- CONSTRUCTION NOTES**
- PRE-FINISHED/PRE-ENGINEERED PAVILION STRUCTURE. MANUFACTURER TO COORDINATE WITH ALL DRAWINGS FOR SPECIFIC DIMENSIONS, ESPECIALLY AT ALL DOOR AND WINDOW OPENINGS.



**LOW PROFILE TUBULAR SKYLIGHT DETAILS**  
SCALE: 1/4" = 1'-0"



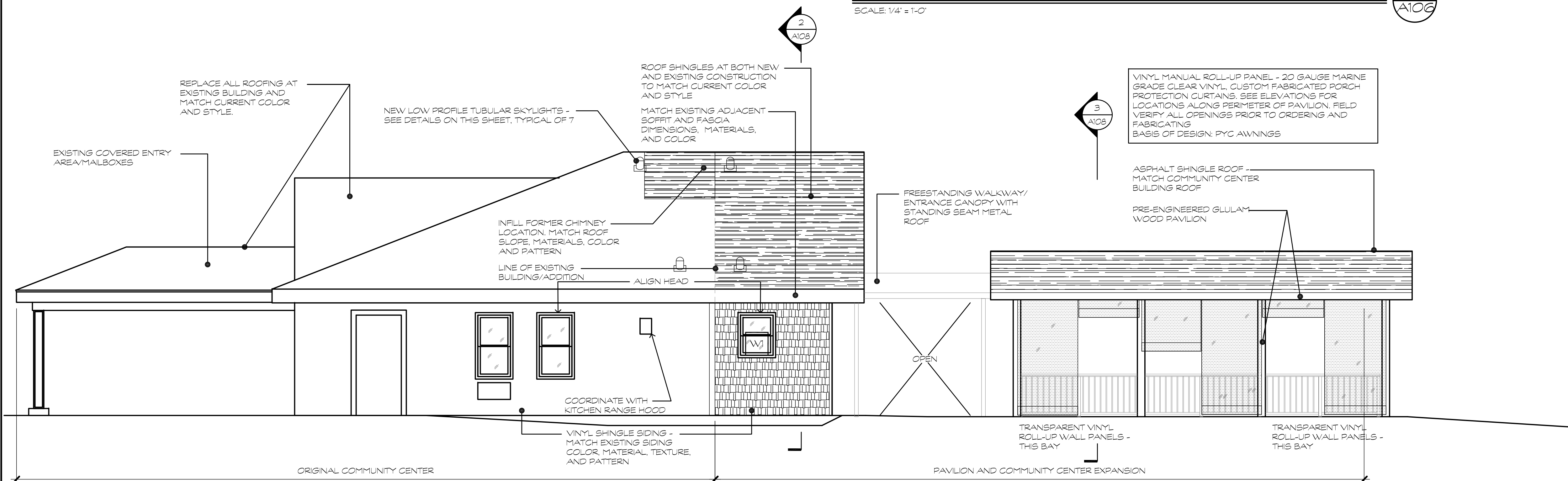




COMMUNITY CENTER - NORTH ELEVATION  
(WITH PAVILION)

SCALE: 1/4" = 1'-0"

1  
A106

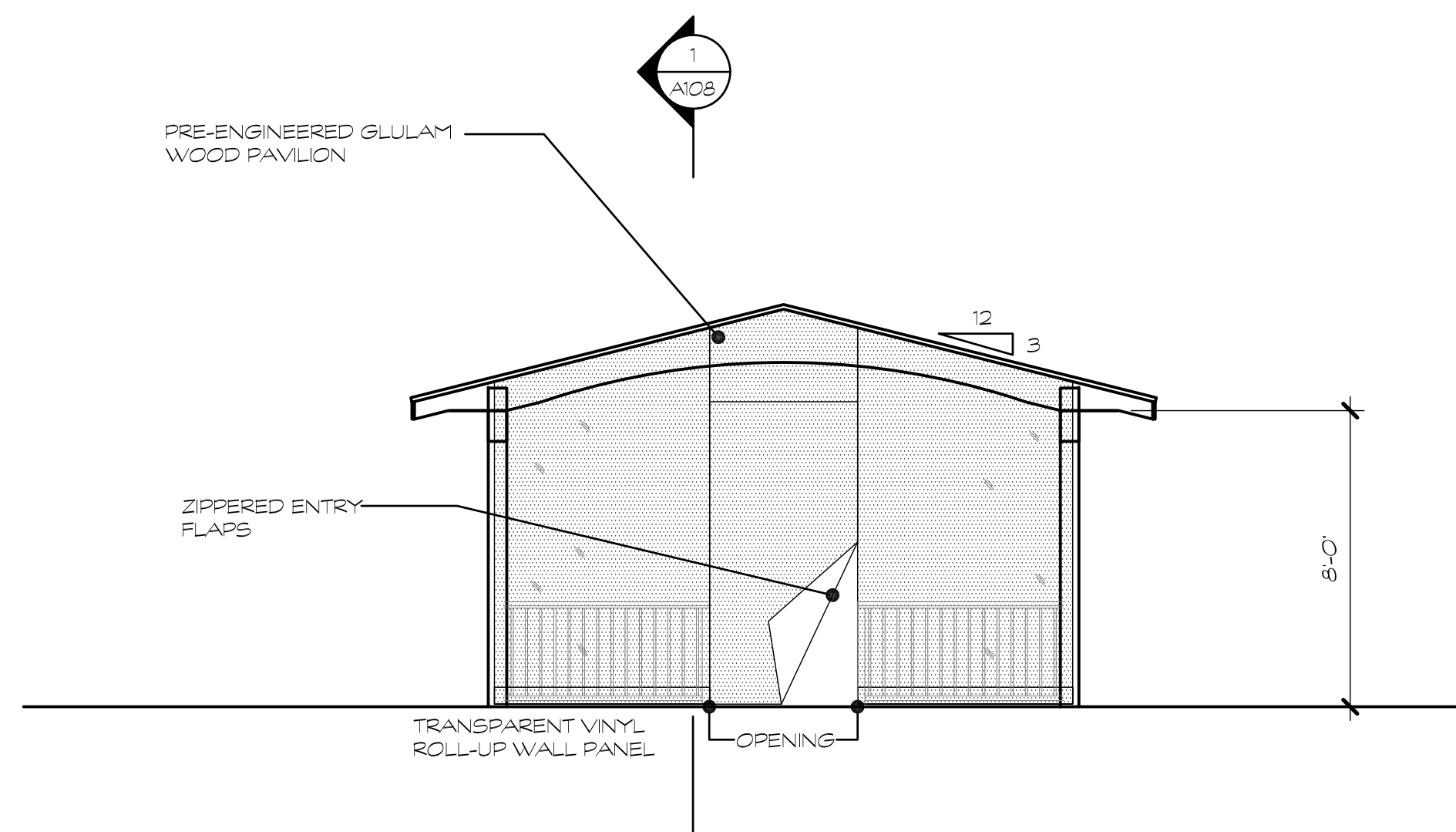


COMMUNITY CENTER - SOUTH ELEVATION  
(WITH PAVILION)

SCALE: 1/4" = 1'-0"

2  
A106

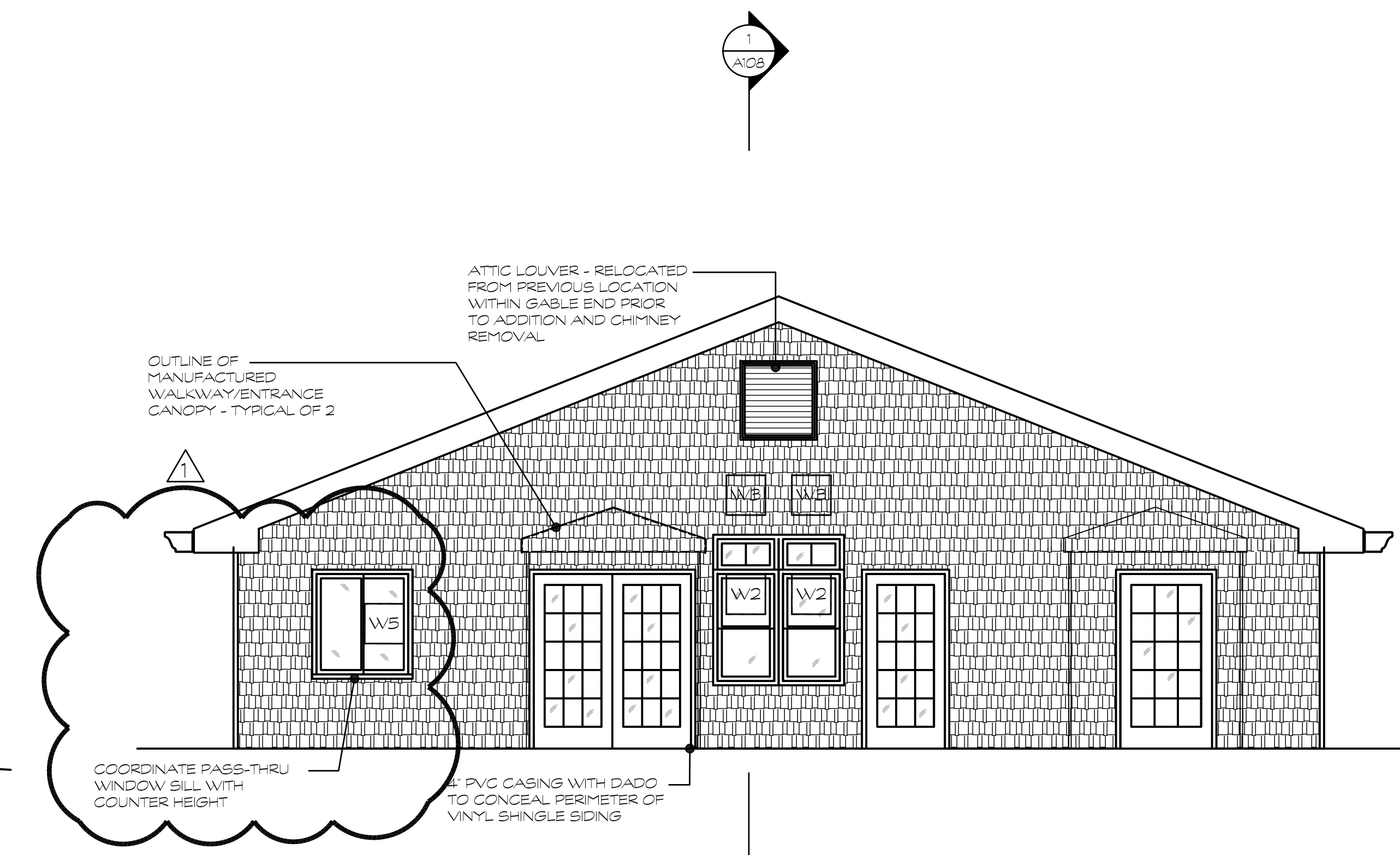
NOTE:  
ALL VINYL WALL PANELS TO BE RAISED AND LOWERED WITH CHAIN OPERATED ROLLERS



COMMUNITY CENTER - PAVILION - WEST ELEVATION  
OPPOSITE FROM MAIN BUILDING

SCALE: 1/4" = 1'-0"

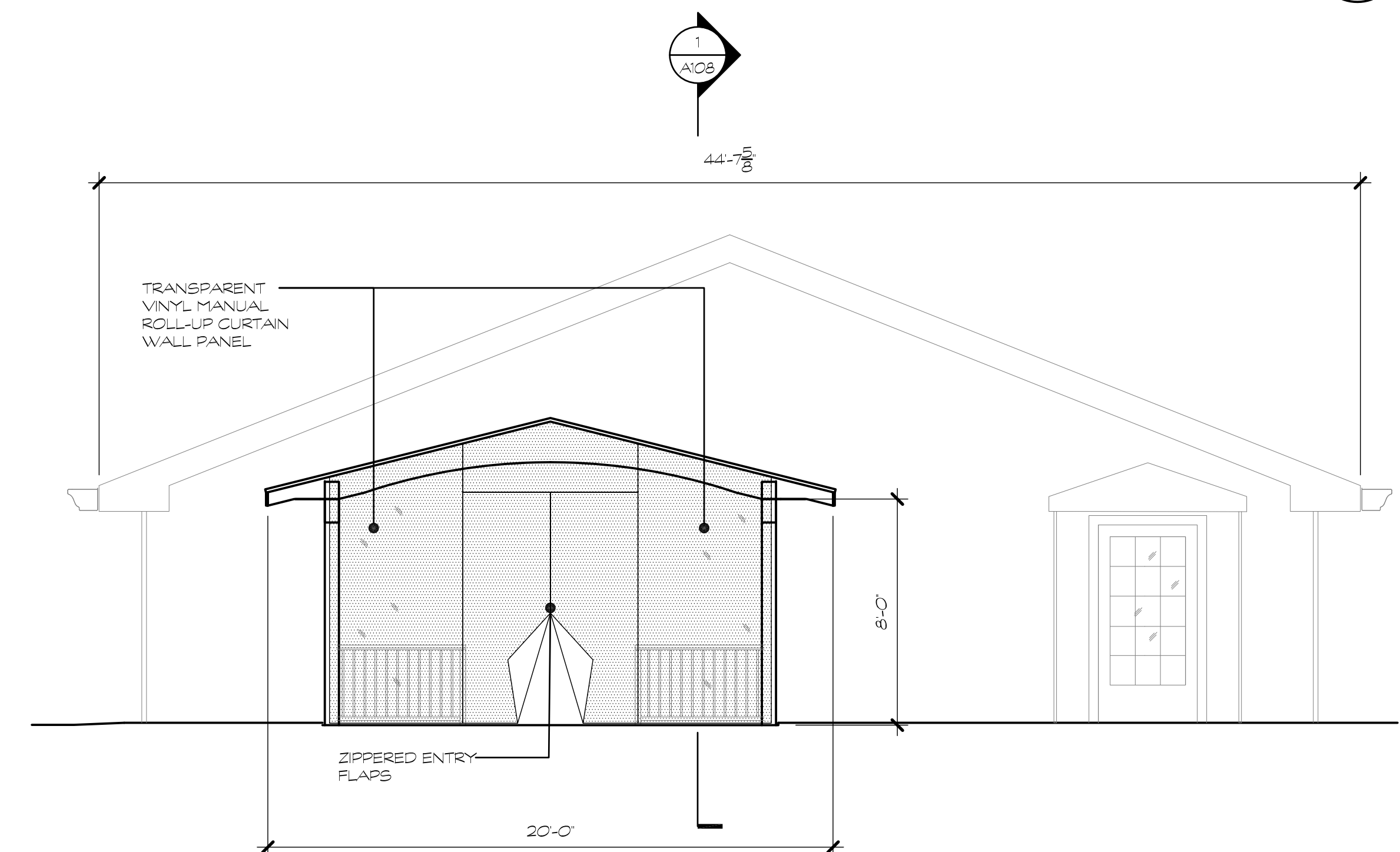
4  
A106



COMMUNITY CENTER - EAST ELEVATION  
(PAVILION NOT SHOWN)

SCALE: 1/4" = 1'-0"

3  
A106



COMMUNITY CENTER - PAVILION - EAST ELEVATION

SCALE: 1/4" = 1'-0"

5  
A106

Project Title:

Essex Housing Authority  
**Renovations at Essex Court**  
16 Main Street  
Centerbrook, CT 06409

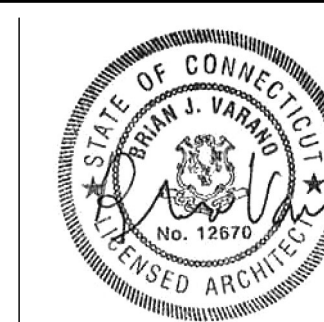
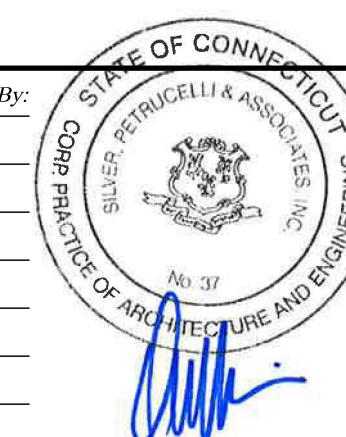


SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

Revision	Description	Date	Revised By
#1	BID DOCUMENTS	9/16/2022	
	ADDENDUM #1	9/27/2022	B JV



Drawing Title:

**Community Center  
Exterior Elevations**

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

B JV

Project Number:

21007

Drawing Number:

**A106**



GOVERNING CODE 2018 CONSTRUCTION STATE BUILDING CODE (2018 INTERNATIONAL BUILDING CODE)

DESIGN LOADS TOWN OF ESSEX

MINIMUM LIVE LOADS

ASSEMBLY 100 PSF

COMMERCIAL 100 PSF

ROOF LOAD

ROOF SNOW LOAD CRITERIA  $P_s = 30 \text{ PSF}$ ,  $C_e = 0.9$  and  $I_e = 1.0$ ,  $C_{s1} 10 \text{ W/TH INCREASES FOR EXPOSURE, UNBALANCES AND SLIDING PER SECTION 1608 (2018 IBC)}$

MINIMUM ROOF WIND LOAD  $30 \text{ PSF}$

ROOF DEAD LOAD  $20 \text{ PSF}$

WIND LOAD CRITERIA SECTION 1609 (2018 IBC)

ULTIMATE WIND SPEED  $V = 125 \text{ MPH}$

NORMAL DESIGN WIND  $V_{50} = 97 \text{ MPH}$

RISK CATEGORY I (WIND)

EXPOSURE CLASSIFICATION B

MINIMUM WIND LOAD ON STRUCTURE  $15 \text{ PSF}$

WIND LOADS ON POSITIVE ELEMENTS SHALL CONFORM WITH ABOVE  $\pm 10\%$

COMPONENT AND CLADDING WIND LOADS INCREASES ARE:

ROOF ZONE 1

NEGATIVE 114.5 PSF

ROOF ZONE 2

NEGATIVE 28.15 PSF

POSITIVE 114.5 PSF

ROOF ZONE 3

NEGATIVE 47.25 PSF

POSITIVE 114.5 PSF

WALL ZONE 1

NEGATIVE 71.0 PSF

POSITIVE 28.15 PSF

WALL ZONE 2

NEGATIVE 71.0 PSF

POSITIVE 28.15 PSF

WALL ZONE 3

NEGATIVE 37.10 PSF

POSITIVE 28.15 PSF

ROOF OVERHANG ZONE 2 - 43.60 PSF

- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE CONTRACTOR SHALL FOLLOW THE GENERAL NOTES.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE ERECTION OF THE STEEL FRAMEWORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, DETERMINE ERECTION PRACTICE AND SEQUENCE AND TO INSURE THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE ERECTION OF THE STRUCTURE. THE ADDITION OF WHATEVER SHORINGS, SHEETING, TEMPORARY BRACINGS, BAYS OR BRACES, OR ANY OTHER MEANS OF SUPPORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS PROPERTY AFTER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES THAT HAVE JURISDICTION OVER THE PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORKERS IN THE STATE OF CONNECTICUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAY RELATED TO REQUIREMENTS OF OTHER (NON-STRUCTURAL) DISCIPLINES ARE SHOWN FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, PLUMBING AND OTHER SUBCONTRACTORS THE FINAL APPROVED SIZE AND LOCATION OF ALL STRUCTURAL MEMBERS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND WAIVERS WHETHER SHOWN OR NOT SHOWN ON DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN DETAIL TO STRUCTURAL SUBCONTRACTORS. EXCESS COSTS INCURRED TO VARIATION IN MECHANICAL REQUIREMENTS ARE NOT TO BE BORNE BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS HAVE BEEN NOTICED ON THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE DRAWINGS. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY REGULATIONS AND TO MAINTAIN ALL NECESSARY SAFETY MEASURES.
- SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND SUBCONTRACTOR FOR CONFORMANCE WITH THE SPECIFICATIONS AND TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES AND ERECTION CONDITIONS BEFORE BEGINNING THE ERECTION OF THE STRUCTURE. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED THOROUGHLY AND APPLY FOR THE ENTIRE STRUCTURE. ANY DISCREPANCIES OR CONFLICTS IN THE DRAWINGS SHALL BE SPECIFICALLY NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW ALL DRAWINGS BEFORE TO SUBMITTING THEIR BID. IF THE SIZE OF ELEMENTS AND DETAILING OF MEMBERS IS NOT INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT FOR THE NECESSARY INFORMATION IN PREPARATION OF THEIR BID. THESE REFERENCED ITEMS SHALL BE THE BASIS FOR THE BID.
- IN CASE OF DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND SUBMITTED SHOP DRAWINGS, THE CONTRACT DOCUMENTS SHALL GOVERN INSTALLATION OF THE STRUCTURE.

1. BACKFILLING SHALL BE ACCOMPLISHED TO EQUAL HEIGHTS ON BOTH SIDES OF FOUNDATION WALLS TO PREVENT MOVEMENTS DUE TO UNBALANCED EARTH PRESSURES. WHEREAS, THE EARTH ON ONE SIDE ON A BACKFILLING AND/OR EXCAVATION SHALL NOT START UNTIL THE OTHER SIDE HAS AN ADEQUATE BRACING IS PROVIDED FOR WALL SUPPORT (EXCEPT AT RETAINING WALLS).
2. ALL FOOTINGS ARE TO REST ON UNDISTURBED NATURAL SOIL, AS DEFINED IN THE SPECIFICATIONS, OR CONTROLLED COMPACTED FILL, REGARDLESS OF ELEVATION. SOIL OR DRAINAGE SANDS ARE TO BE COMPACTED TO A MINIMUM OF 95% HIGHER THAN INDICATED ON THE FOUNDATION PLAN, NOT LESS THAN 3'-6" BELOW FINISH GRADES.
3. IF FILL MATERIALS ARE ENCOUNTERED AT FOOTING BRACING LOCATIONS, ALL FILL MATERIAL SHALL BE EXCAVATED AND REPLACED WITH LEGALLY OFF-SITE, THE OVER EXCAVATION SHALL BE BACKFILLED WITH CONTROLLED COMPACTED FILL TO THE BOTTOM OF FOOTING ELEVATION AS REQUIRED.

[illegible]

LOCATION	STRENGTH (PSI)
WALLS	4500
SLABS ON GRADE	3500

ALL DETAILS AND CONSTRUCTION OF REINFORCING BARS MUST FOLLOW THE LATEST ACI CODE AND THE LATEST AN EDITION OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.

REINFORCING BARS SHALL BE PLACED AS FOLLOWS:

- NO TAKE-UPS OF REINFORCING WILL BE PERMITTED.
- UNLESS OTHERWISE ALLOWED BY THE CLASS B, IN ACCORDANCE WITH ACI 308-I.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186.
- WELDED WIRE FABRIC SHALL BE PLACED AT THE TOP OF SIDES AND ENDS AND BE WELDED TOGETHER.
- WELDED WIRE FABRIC SLAB SIPS SHALL BE STAGGERED TO AVOID FOUR-MS THICKNESS AT CONJOING END LAP AND SLAB LOCATION.
- NO CALCIUM CHLORIDE OR ADJUSTMENTS CONTAINING MORE THAN 0.1% CHLORIDE BY WEIGHT OF CEMENT SHALL BE USED.
- BOTTOM OF ALL EXTERIOR ROOFINGS SHALL BE AT LEAST 3" BELOW FINISHED GRADE, PRIOR TO PROCEEDING WITH ROOFING CONSTRUCTION. THE ROOFING SHALL BE SLOPED FOR DRAINAGE TO THE PERIMETER OF BOTH OF EXTERIOR ROOF ELEVATIONS WITH THE RAIN GRACES AND MAINTAINING THE 3-6" ROOST.
- WHERE SLOPED ROOFING IS USED, THE ROOFING SHALL BE AT LEAST 8" BELOW THE INVERT ELEVATION OF THE PIPES AND CONDUCITS. COORDINATE ALL INVERTS WITH MECHANICAL PLUMBING. FIRE PROTECT ALL EXTERIOR ROOFING.
- NO REINFORCING SHALL BE PLACED ON TOP OF STEEL AT SUPPORTED ELEVATED SLABS, AND PROVIDE ADDITIONAL CEMENT AS REQUIRED.

[illegible]

- DESIGN ROOF TRUSSES FOR THE FOLLOWING LOAD:
  - 1. LIVE LOAD 30 PSF
  - 2. DEAD LOAD - TOP CHORD 10 PSF
  - 3. DEAD LOAD - BOTTOM CHORD 5 PSF
  - 4. WIND WEIGHT OF ALL BRACING SYSTEMS HUNG FROM TRUSSES. COORDINATE WITH MECHANICAL CONTRACTOR PER DESIGN TRUSSES.
- DESIGN ROOF TRUSSES TO RESIST THE FOLLOWING:
  - 1. LIVE LOAD 60 PSF
  - 2. DEAD LOAD - TOP CHORD 10 PSF
  - 3. DEAD LOAD - BOTTOM CHORD 15 PSF
- TRUSSES SHALL BE FABRICATED BY THE TRUSS FABRICATOR TO SUPPORT THE LOADS ABOVE WITH DEFLECTIONS NOT TO EXCEED 1/80 UNBORN CROWNED DEAD LOAD + LIVE LOAD NOT 1/80 UNBORN LIVE LOAD ALONE. TRUSS DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CONNECTICUT.
- TRUSS LYMERS SHALL BE ANY SOUTHWEST SPECIES OF SPECIFIED GRADE, CONFORMING TO THE FOLLOWING REQUIREMENTS:
  - 1. ALL TRUSS LYMERS SHALL BE DRY KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% STANDARD.
  - 2. ALL TRUSS LYMERS SHALL BE SEASONED WITH A MINIMUM MOISTURE CONTENT AT THE END OF INSTALLATION.
  - 3. ALL TRUSS LYMERS SHALL BE FREE OF KNOTS.
  - 4. TRUSS LYMERS SHALL BE 2" MINIMUM.
  - 5. TRUSS LYMERS SHALL BE 3" MINIMUM.
  - 6. TRUSS LYMERS SHALL BE 4" MINIMUM.
  - 7. TRUSS LYMERS SHALL BE 5" MINIMUM.
  - 8. TRUSS LYMERS SHALL BE 6" MINIMUM.
  - 9. TRUSS LYMERS SHALL BE 7" MINIMUM.
  - 10. TRUSS LYMERS SHALL BE 8" MINIMUM.
  - 11. TRUSS LYMERS SHALL BE 9" MINIMUM.
  - 12. TRUSS LYMERS SHALL BE 10" MINIMUM.
  - 13. TRUSS LYMERS SHALL BE 11" MINIMUM.
  - 14. TRUSS LYMERS SHALL BE 12" MINIMUM.
  - 15. TRUSS LYMERS SHALL BE 13" MINIMUM.
  - 16. TRUSS LYMERS SHALL BE 14" MINIMUM.
  - 17. TRUSS LYMERS SHALL BE 15" MINIMUM.
  - 18. TRUSS LYMERS SHALL BE 16" MINIMUM.
  - 19. TRUSS LYMERS SHALL BE 17" MINIMUM.
  - 20. TRUSS LYMERS SHALL BE 18" MINIMUM.
  - 21. TRUSS LYMERS SHALL BE 19" MINIMUM.
  - 22. TRUSS LYMERS SHALL BE 20" MINIMUM.
  - 23. TRUSS LYMERS SHALL BE 21" MINIMUM.
  - 24. TRUSS LYMERS SHALL BE 22" MINIMUM.
  - 25. TRUSS LYMERS SHALL BE 23" MINIMUM.
  - 26. TRUSS LYMERS SHALL BE 24" MINIMUM.
  - 27. TRUSS LYMERS SHALL BE 25" MINIMUM.
  - 28. TRUSS LYMERS SHALL BE 26" MINIMUM.
  - 29. TRUSS LYMERS SHALL BE 27" MINIMUM.
  - 30. TRUSS LYMERS SHALL BE 28" MINIMUM.
  - 31. TRUSS LYMERS SHALL BE 29" MINIMUM.
  - 32. TRUSS LYMERS SHALL BE 30" MINIMUM.
  - 33. TRUSS LYMERS SHALL BE 31" MINIMUM.
  - 34. TRUSS LYMERS SHALL BE 32" MINIMUM.
  - 35. TRUSS LYMERS SHALL BE 33" MINIMUM.
  - 36. TRUSS LYMERS SHALL BE 34" MINIMUM.
  - 37. TRUSS LYMERS SHALL BE 35" MINIMUM.
  - 38. TRUSS LYMERS SHALL BE 36" MINIMUM.
  - 39. TRUSS LYMERS SHALL BE 37" MINIMUM.
  - 40. TRUSS LYMERS SHALL BE 38" MINIMUM.
  - 41. TRUSS LYMERS SHALL BE 39" MINIMUM.
  - 42. TRUSS LYMERS SHALL BE 40" MINIMUM.
  - 43. TRUSS LYMERS SHALL BE 41" MINIMUM.
  - 44. TRUSS LYMERS SHALL BE 42" MINIMUM.
  - 45. TRUSS LYMERS SHALL BE 43" MINIMUM.
  - 46. TRUSS LYMERS SHALL BE 44" MINIMUM.
  - 47. TRUSS LYMERS SHALL BE 45" MINIMUM.
  - 48. TRUSS LYMERS SHALL BE 46" MINIMUM.
  - 49. TRUSS LYMERS SHALL BE 47" MINIMUM.
  - 50. TRUSS LYMERS SHALL BE 48" MINIMUM.
  - 51. TRUSS LYMERS SHALL BE 49" MINIMUM.
  - 52. TRUSS LYMERS SHALL BE 50" MINIMUM.
  - 53. TRUSS LYMERS SHALL BE 51" MINIMUM.
  - 54. TRUSS LYMERS SHALL BE 52" MINIMUM.
  - 55. TRUSS LYMERS SHALL BE 53" MINIMUM.
  - 56. TRUSS LYMERS SHALL BE 54" MINIMUM.
  - 57. TRUSS LYMERS SHALL BE 55" MINIMUM.
  - 58. TRUSS LYMERS SHALL BE 56" MINIMUM.
  - 59. TRUSS LYMERS SHALL BE 57" MINIMUM.
  - 60. TRUSS LYMERS SHALL BE 58" MINIMUM.
  - 61. TRUSS LYMERS SHALL BE 59" MINIMUM.
  - 62. TRUSS LYMERS SHALL BE 60" MINIMUM.
  - 63. TRUSS LYMERS SHALL BE 61" MINIMUM.
  - 64. TRUSS LYMERS SHALL BE 62" MINIMUM.
  - 65. TRUSS LYMERS SHALL BE 63" MINIMUM.
  - 66. TRUSS LYMERS SHALL BE 64" MINIMUM.
  - 67. TRUSS LYMERS SHALL BE 65" MINIMUM.
  - 68. TRUSS LYMERS SHALL BE 66" MINIMUM.
  - 69. TRUSS LYMERS SHALL BE 67" MINIMUM.
  - 70. TRUSS LYMERS SHALL BE 68" MINIMUM.
  - 71. TRUSS LYMERS SHALL BE 69" MINIMUM.
  - 72. TRUSS LYMERS SHALL BE 70" MINIMUM.
  - 73. TRUSS LYMERS SHALL BE 71" MINIMUM.
  - 74. TRUSS LYMERS SHALL BE 72" MINIMUM.
  - 75. TRUSS LYMERS SHALL BE 73" MINIMUM.
  - 76. TRUSS LYMERS SHALL BE 74" MINIMUM.
  - 77. TRUSS LYMERS SHALL BE 75" MINIMUM.
  - 78. TRUSS LYMERS SHALL BE 76" MINIMUM.
  - 79. TRUSS LYMERS SHALL BE 77" MINIMUM.
  - 80. TRUSS LYMERS SHALL BE 78" MINIMUM.
  - 81. TRUSS LYMERS SHALL BE 79" MINIMUM.
  - 82. TRUSS LYMERS SHALL BE 80" MINIMUM.
  - 83. TRUSS LYMERS SHALL BE 81" MINIMUM.
  - 84. TRUSS LYMERS SHALL BE 82" MINIMUM.
  - 85. TRUSS LYMERS SHALL BE 83" MINIMUM.
  - 86. TRUSS LYMERS SHALL BE 84" MINIMUM.
  - 87. TRUSS LYMERS SHALL BE 85" MINIMUM.
  - 88. TRUSS LYMERS SHALL BE 86" MINIMUM.
  - 89. TRUSS LYMERS SHALL BE 87" MINIMUM.
  - 90. TRUSS LYMERS SHALL BE 88" MINIMUM.
  - 91. TRUSS LYMERS SHALL BE 89" MINIMUM.
  - 92. TRUSS LYMERS SHALL BE 90" MINIMUM.
  - 93. TRUSS LYMERS SHALL BE 91" MINIMUM.
  - 94. TRUSS LYMERS SHALL BE 92" MINIMUM.
  - 95. TRUSS LYMERS SHALL BE 93" MINIMUM.
  - 96. TRUSS LYMERS SHALL BE 94" MINIMUM.
  - 97. TRUSS LYMERS SHALL BE 95" MINIMUM.
  - 98. TRUSS LYMERS SHALL BE 96" MINIMUM.
  - 99. TRUSS LYMERS SHALL BE 97" MINIMUM.
  - 100. TRUSS LYMERS SHALL BE 98" MINIMUM.
  - 101. TRUSS LYMERS SHALL BE 99" MINIMUM.
  - 102. TRUSS LYMERS SHALL BE 100" MINIMUM.
  - 103. TRUSS LYMERS SHALL BE 101" MINIMUM.
  - 104. TRUSS LYMERS SHALL BE 102" MINIMUM.
  - 105. TRUSS LYMERS SHALL BE 103" MINIMUM.
  - 106. TRUSS LYMERS SHALL BE 104" MINIMUM.
  - 107. TRUSS LYMERS SHALL BE 105" MINIMUM.
  - 108. TRUSS LYMERS SHALL BE 106" MINIMUM.
  - 109. TRUSS LYMERS SHALL BE 107" MINIMUM.
  - 110. TRUSS LYMERS SHALL BE 108" MINIMUM.
  - 111. TRUSS LYMERS SHALL BE 109" MINIMUM.
  - 112. TRUSS LYMERS SHALL BE 110" MINIMUM.
  - 113. TRUSS LYMERS SHALL BE 111" MINIMUM.
  - 114. TRUSS LYMERS SHALL BE 112" MINIMUM.
  - 115. TRUSS LYMERS SHALL BE 113" MINIMUM.
  - 116. TRUSS LYMERS SHALL BE 114" MINIMUM.
  - 117. TRUSS LYMERS SHALL BE 115" MINIMUM.
  - 118. TRUSS LYMERS SHALL BE 116" MINIMUM.
  - 119. TRUSS LYMERS SHALL BE 117" MINIMUM.
  - 120. TRUSS LYMERS SHALL BE 118" MINIMUM.
  - 121. TRUSS LYMERS SHALL BE 119" MINIMUM.
  - 122. TRUSS LYMERS SHALL BE 120" MINIMUM.
  - 123. TRUSS LYMERS SHALL BE 121" MINIMUM.
  - 124. TRUSS LYMERS SHALL BE 122" MINIMUM.
  - 125. TRUSS LYMERS SHALL BE 123" MINIMUM.
  - 126. TRUSS LYMERS SHALL BE 124" MINIMUM.
  - 127. TRUSS LYMERS SHALL BE 125" MINIMUM.
  - 128. TRUSS LYMERS SHALL BE 126" MINIMUM.
  - 129. TRUSS LYMERS SHALL BE 127" MINIMUM.
  - 130. TRUSS LYMERS SHALL BE 128" MINIMUM.
  - 131. TRUSS LYMERS SHALL BE 129" MINIMUM.
  - 132. TRUSS LYMERS SHALL BE 130" MINIMUM.
  - 133. TRUSS LYMERS SHALL BE 131" MINIMUM.
  - 134. TRUSS LYMERS SHALL BE 132" MINIMUM.
  - 135. TRUSS LYMERS SHALL BE 133" MINIMUM.
  - 136. TRUSS LYMERS SHALL BE 134" MINIMUM.
  - 137. TRUSS LYMERS SHALL BE 135" MINIMUM.
  - 138. TRUSS LYMERS SHALL BE 136" MINIMUM.
  - 139. TRUSS LYMERS SHALL BE 137" MINIMUM.
  - 140. TRUSS LYMERS SHALL BE 138" MINIMUM.
  - 141. TRUSS LYMERS SHALL BE 139" MINIMUM.
  - 142. TRUSS LYMERS SHALL BE 140" MINIMUM.
  - 143. TRUSS LYMERS SHALL BE 141" MINIMUM.
  - 144. TRUSS LYMERS SHALL BE 142" MINIMUM.
  - 145. TRUSS LYMERS SHALL BE 143" MINIMUM.
  - 146. TRUSS LYMERS SHALL BE 144" MINIMUM.
  - 147. TRUSS LYMERS SHALL BE 145" MINIMUM.
  - 148. TRUSS LYMERS SHALL BE 146" MINIMUM.
  - 149. TRUSS LYMERS SHALL BE 147" MINIMUM.
  - 150. TRUSS LYMERS SHALL BE 148" MINIMUM.
  - 151. TRUSS LYMERS SHALL BE 149" MINIMUM.
  - 152. TRUSS LYMERS SHALL BE 150" MINIMUM.
  - 153. TRUSS LYMERS SHALL BE 151" MINIMUM.
  - 154. TRUSS LYMERS SHALL BE 152" MINIMUM.
  - 155. TRUSS LYMERS SHALL BE 153" MINIMUM.
  - 156. TRUSS LYMERS SHALL BE 154" MINIMUM.
  - 157. TRUSS LYMERS SHALL BE 155" MINIMUM.
  - 158. TRUSS LYMERS SHALL BE 156" MINIMUM.
  - 159. TRUSS LYMERS SHALL BE 157" MINIMUM.
  - 160. TRUSS LYMERS SHALL BE 158" MINIMUM.
  - 161. TRUSS LYMERS SHALL BE 159" MINIMUM.
  - 162. TRUSS LYMERS SHALL BE 160" MINIMUM.
  - 163. TRUSS LYMERS SHALL BE 161" MINIMUM.
  - 164. TRUSS LYMERS SHALL BE 162" MINIMUM.
  - 165. TRUSS LYMERS SHALL BE 163" MINIMUM.
  - 166. TRUSS LYMERS SHALL BE 164" MINIMUM.
  - 167. TRUSS LYMERS SHALL BE 165" MINIMUM.
  - 168. TRUSS LYMERS SHALL BE 166" MINIMUM.
  - 169. TRUSS LYMERS SHALL BE 167" MINIMUM.
  - 170. TRUSS LYMERS SHALL BE 168" MINIMUM.
  - 171. TRUSS LYMERS SHALL BE 169" MINIMUM.
  - 172. TRUSS LYMERS SHALL BE 17

EXISTING COVERED ENTRY AREA/MALBOXES

PRE-ENGINEERED WOOD TRUSSES AT 24' O.C.

LINE OF EXISTING BUILDING/ADDITION

INFILL FORMER CHIMNEY LOCATION, MATCH ROOF SLOPE, MATERIALS, COLOR AND PATTERN

GREAT ROOM 009

ALIGN CEILING

1 A105

2 A105

3 A107

FREESTANDING WALKWAY CANOPY - COMMUNITY CENTER TO PAVILION

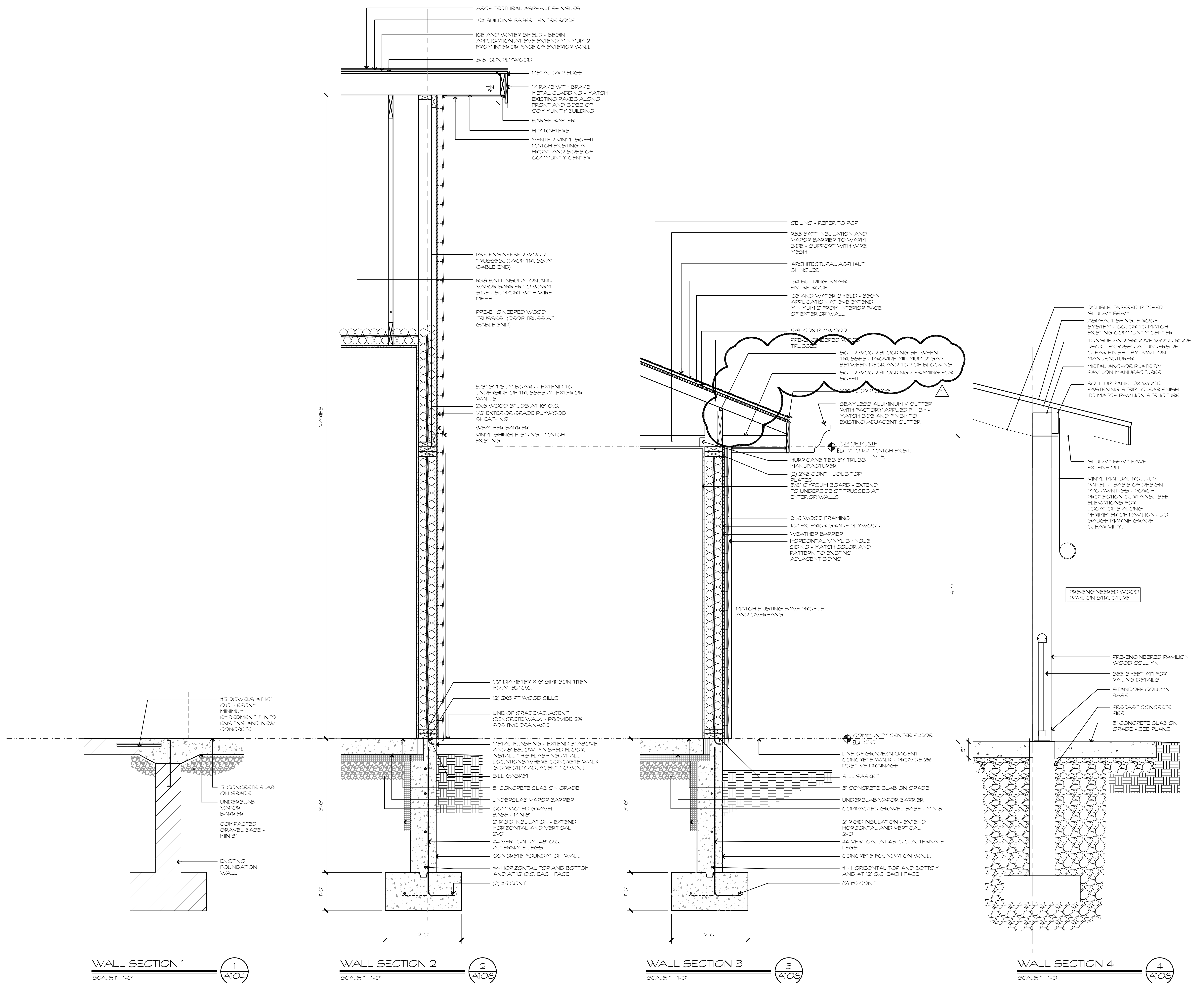
PAVILION AND COMMUNITY CENTER EXPANSION

ORIGINAL COMMUNITY CENTER

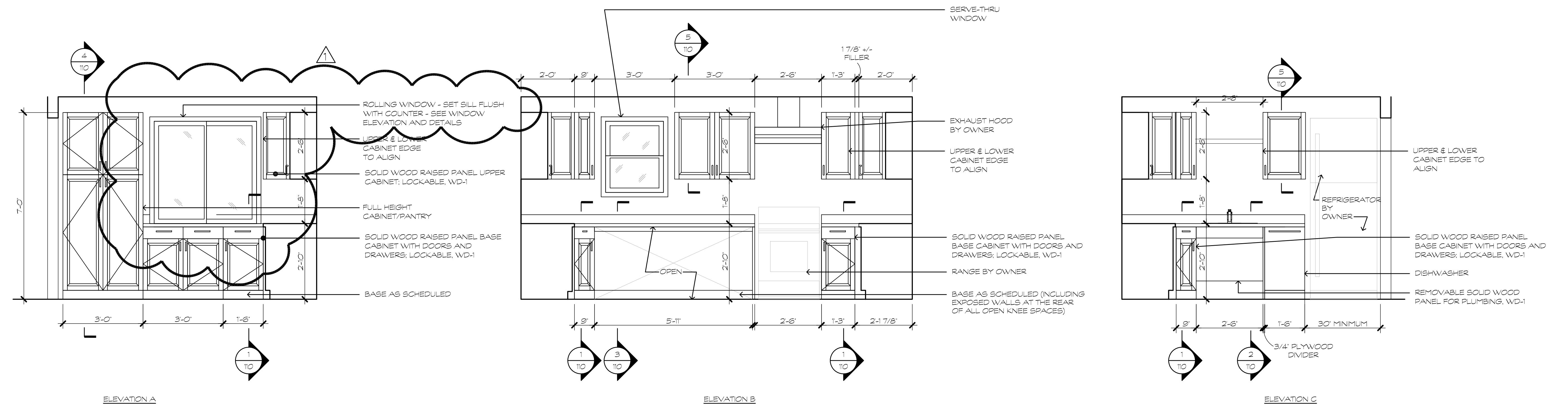
PAVILION E-00

EL -04'





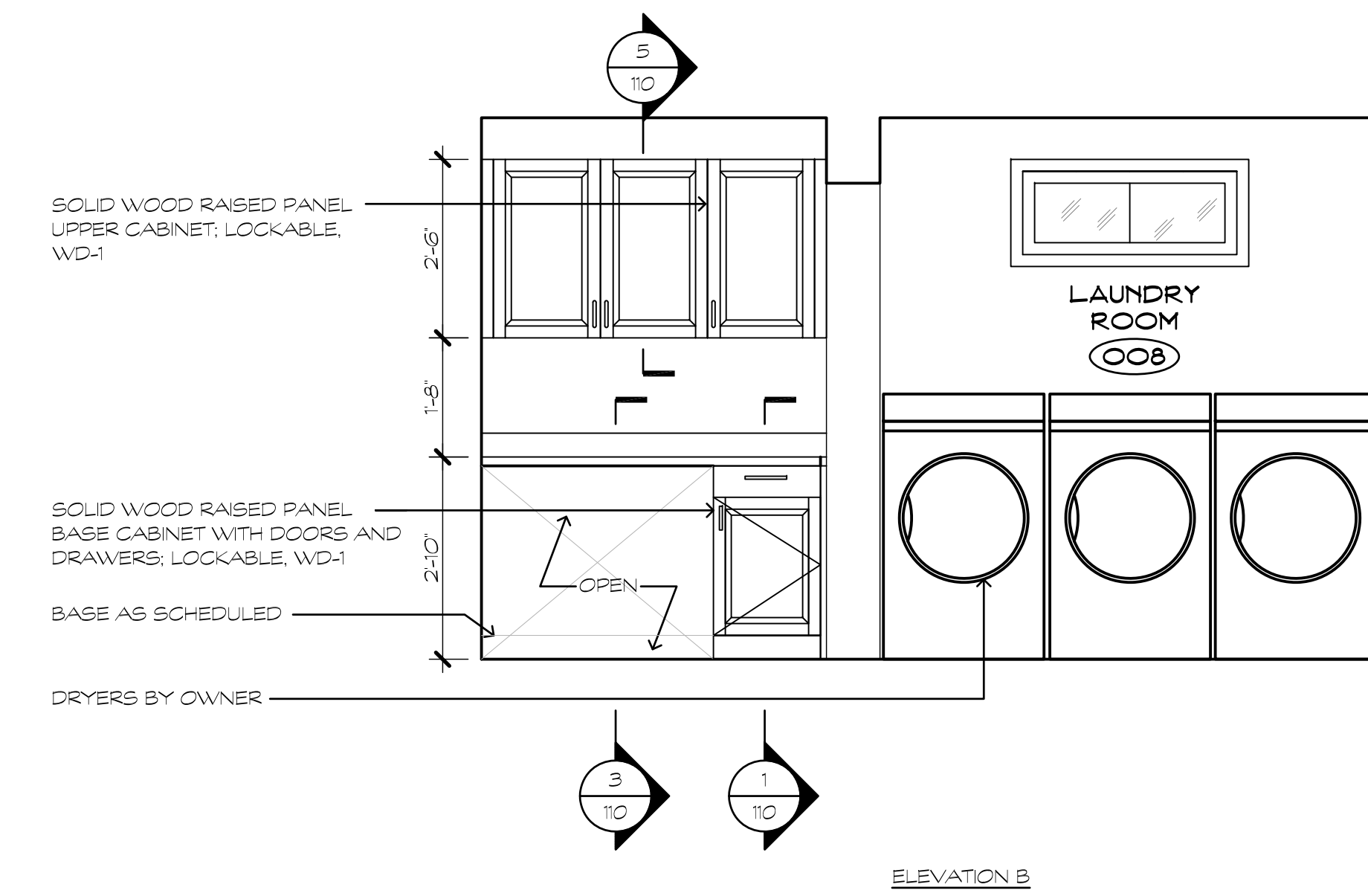
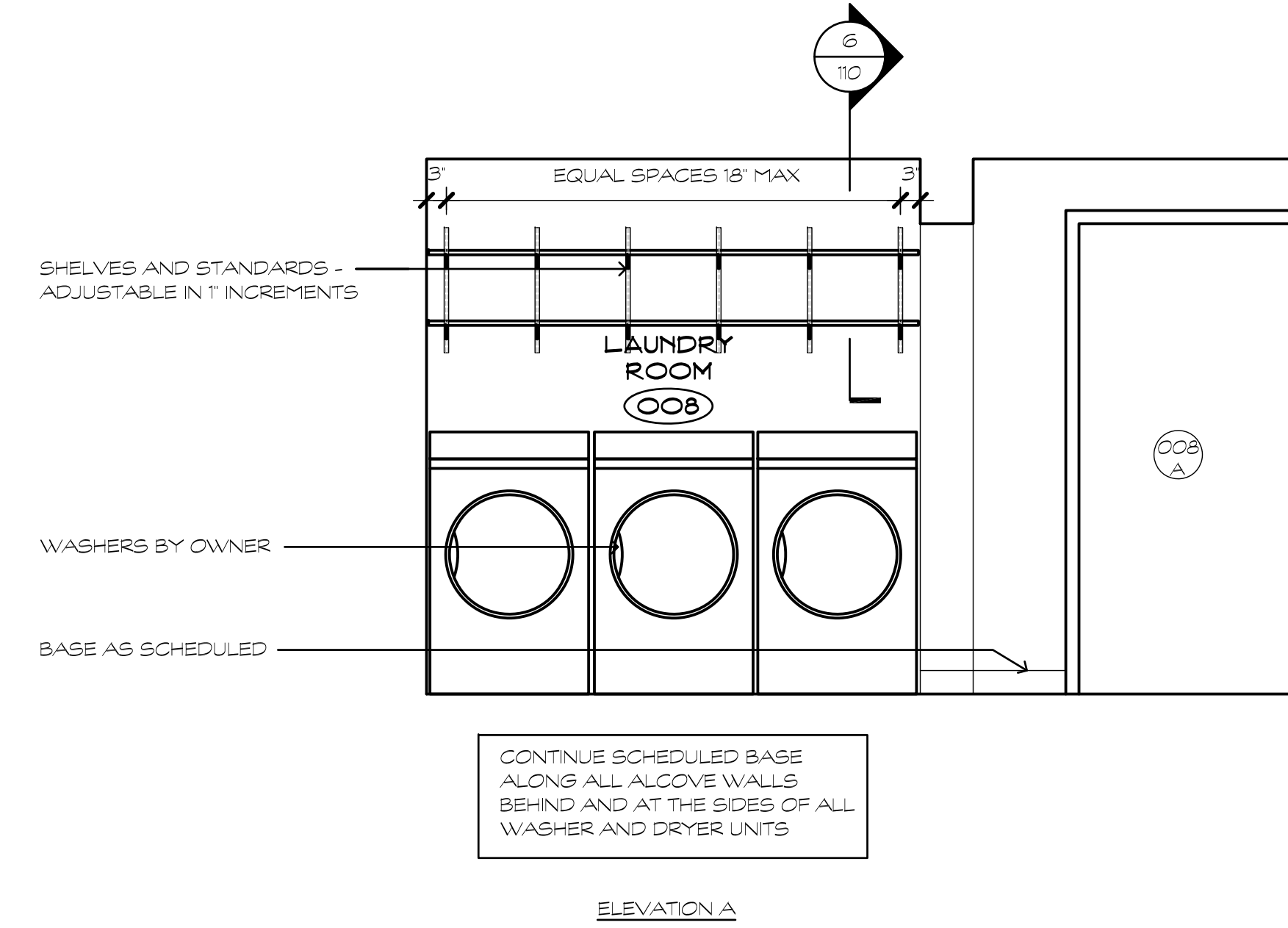




## INTERIOR ELEVATIONS - KITCHEN

SCALE: 1/2" = 1'-0"

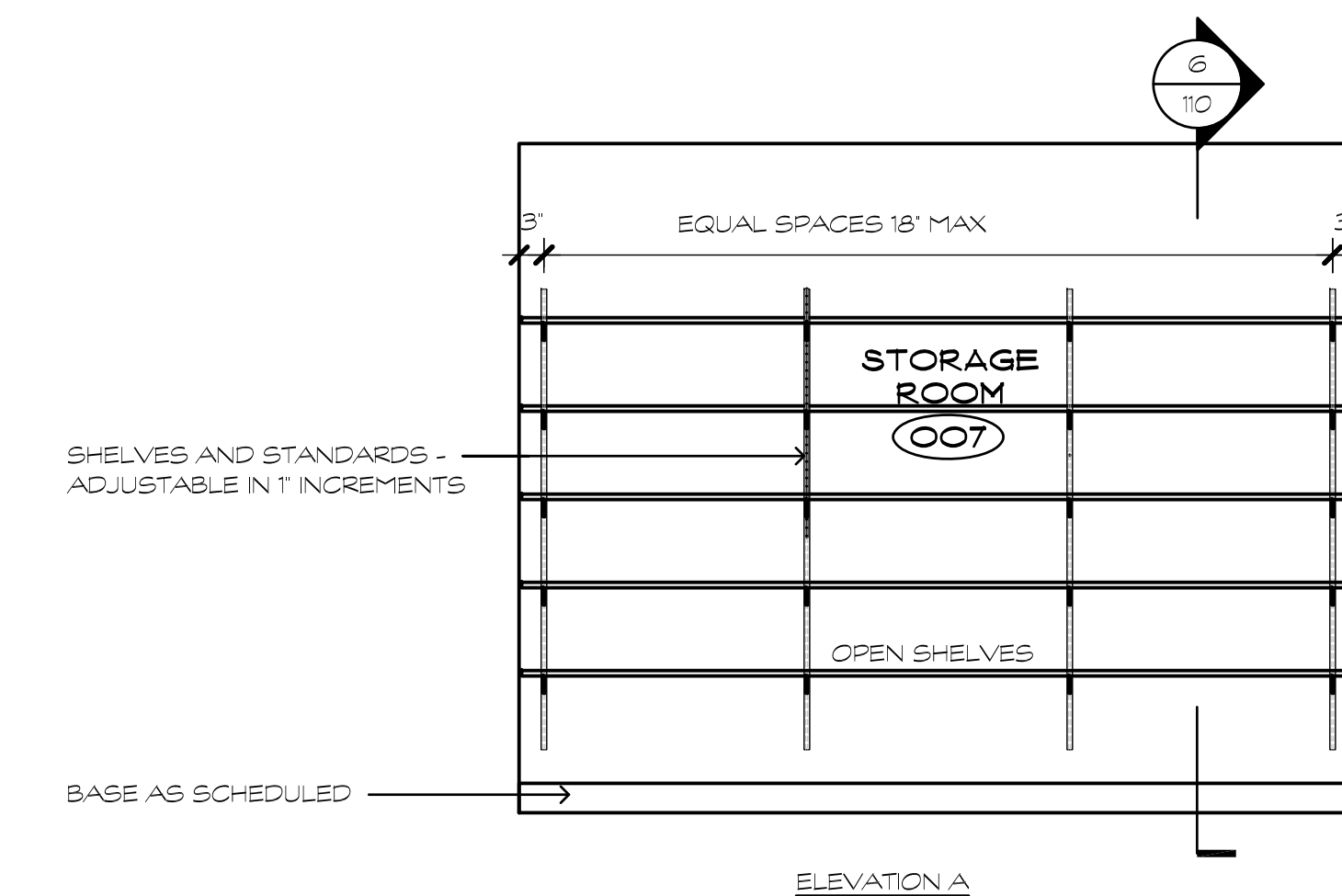
1  
A109



## INTERIOR ELEVATIONS - LAUNDRY ROOM

SCALE: 1/2" = 1'-0"

2  
A109



## INTERIOR ELEVATION - STORAGE ROOM

SCALE: 1/2" = 1'-0"

3  
A109

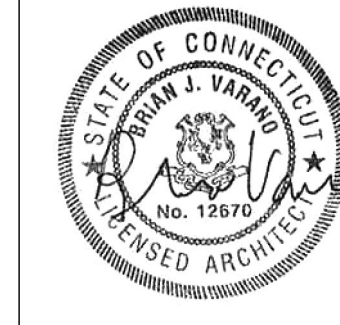
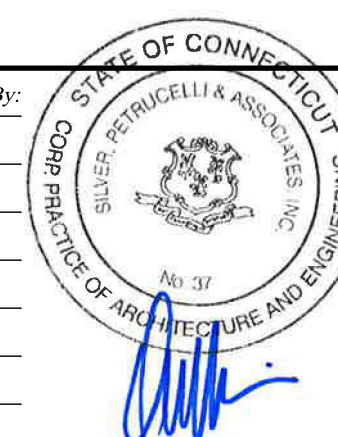
Project Title:

Essex Housing Authority  
Renovations at Essex Court  
16 Main Street  
Centerbrook, CT 06409



SILVER / PETRUCCELLI + ASSOCIATES  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

Revision:	Description:	Date:	Revised By:
#1	BID DOCUMENTS	9/16/2022	BJV
#2	ADDENDUM #1	9/27/2022	BJV
#3			
#4			
#5			



Drawing Title:

Interior Elevations

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

BJV

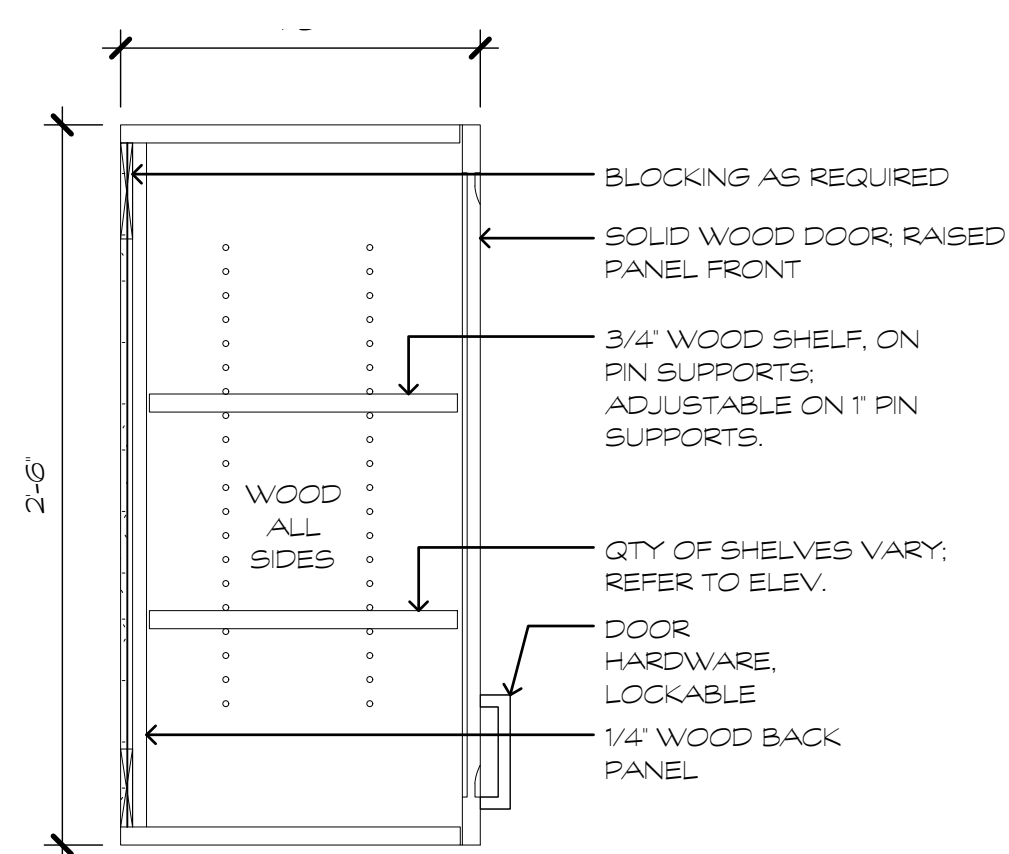
Project Number:

21007

Drawing Number:

A109

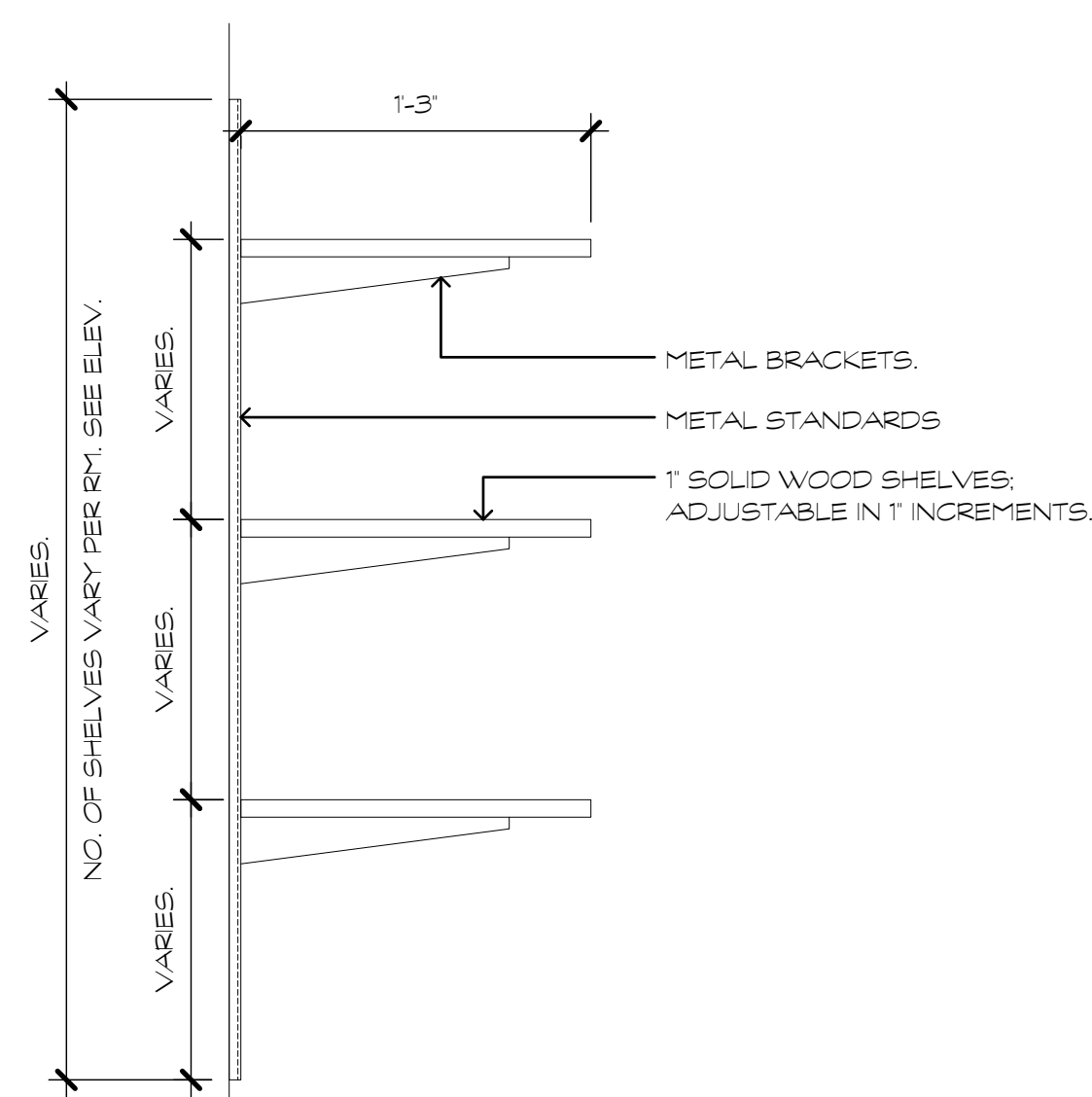




CASEWORK SECTION - UPPER CABINET

SCALE: 1 1/2" = 1'-0"

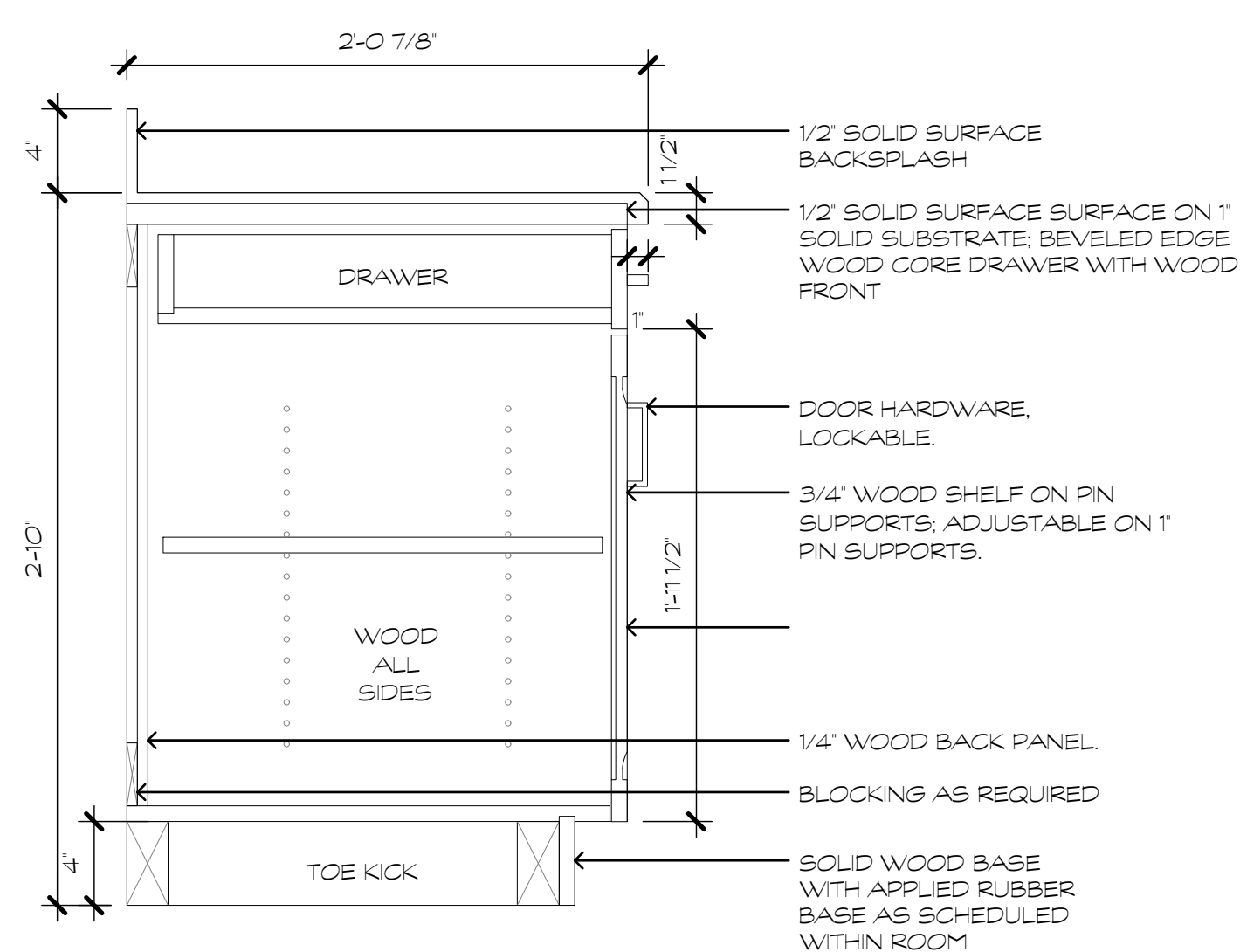
5  
A110



CASEWORK SECTION - SHELF STANDARDS

SCALE: 1 1/2" = 1'-0"

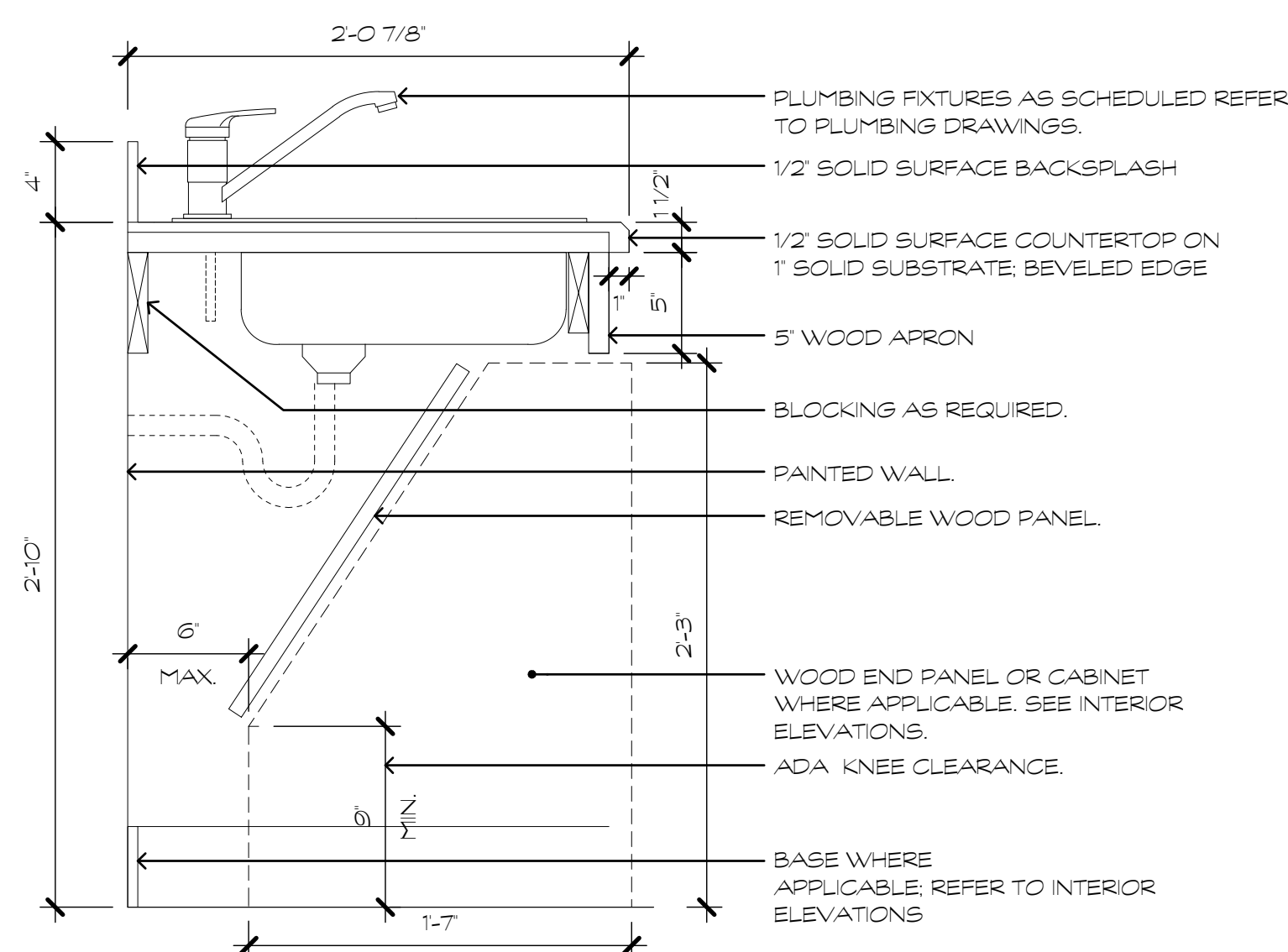
6  
A110



CASEWORK SECTION - BASE CABINET

SCALE: 1 1/2" = 1'-0"

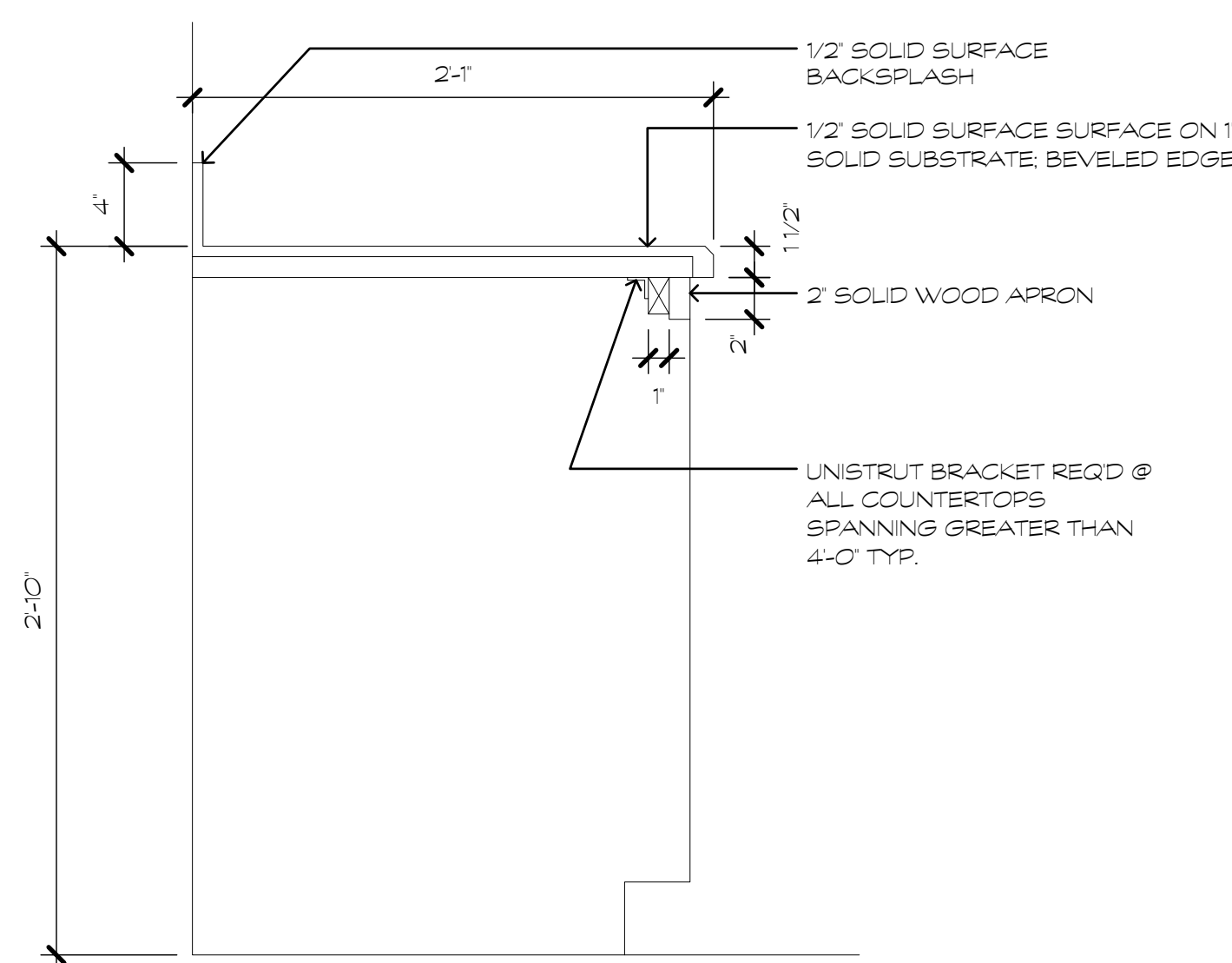
1  
A110



CASEWORK SECTION - ADA SINK

SCALE: 1 1/2" = 1'-0"

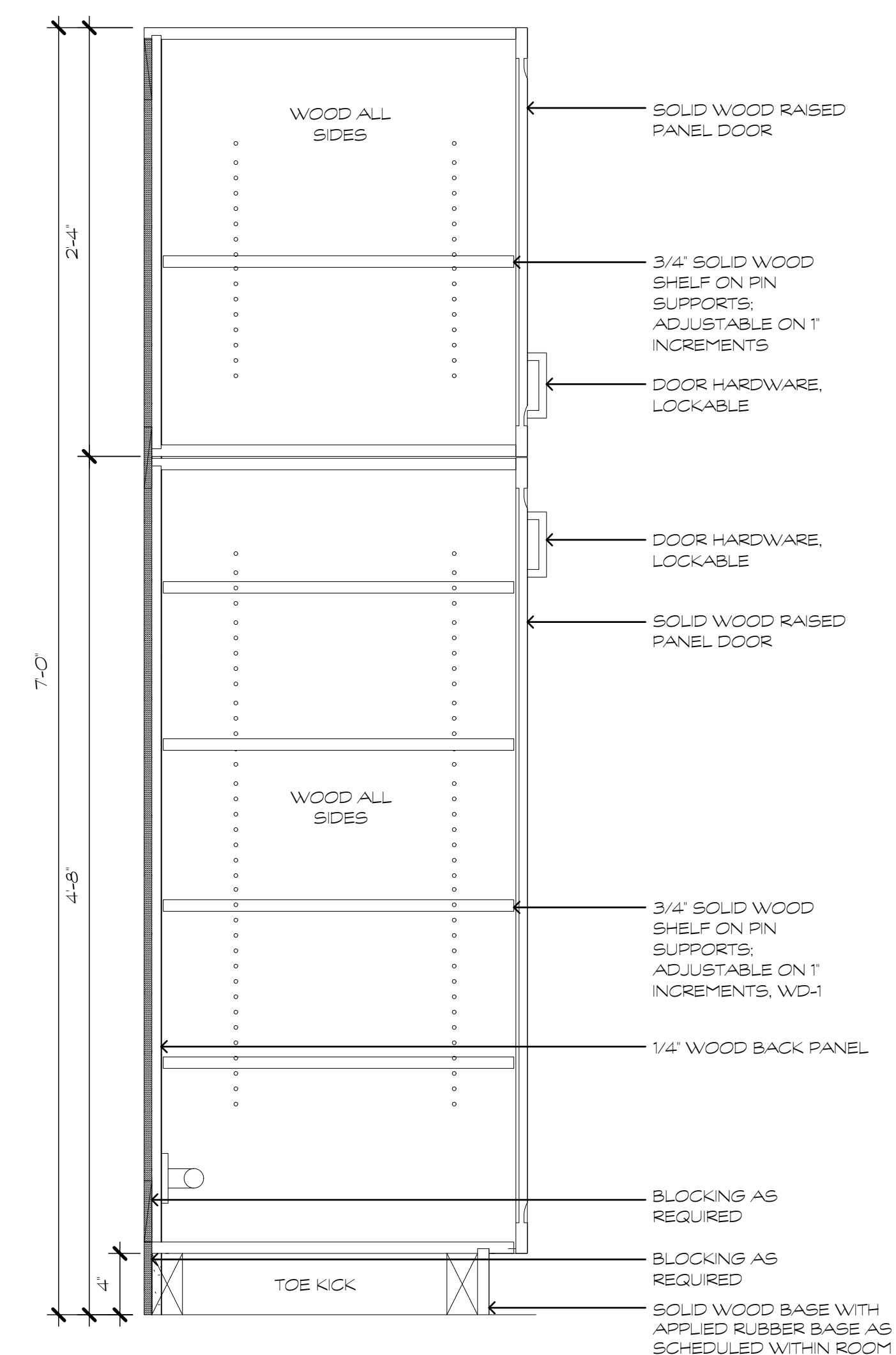
2  
A110



CASEWORK SECTION - ADA KNEE SPACE

SCALE: 1 1/2" = 1'-0"

3  
A110



CASEWORK SECTION - FULL HEIGHT

SCALE: 1 1/2" = 1'-0"

4  
A110

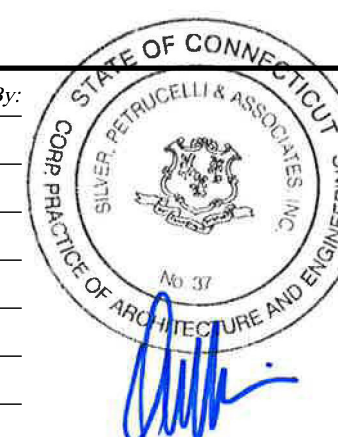
Project Title:

Essex Housing Authority  
Renovations at Essex Court  
16 Main Street  
Centerbrook, CT 06409



SILVER / PETRUCELLI + ASSOCIATES  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

Revision:	Description:	Date:	Revised By:
BID DOCUMENTS		9/16/2022	



Drawing Title:

Casework Details

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

B JV

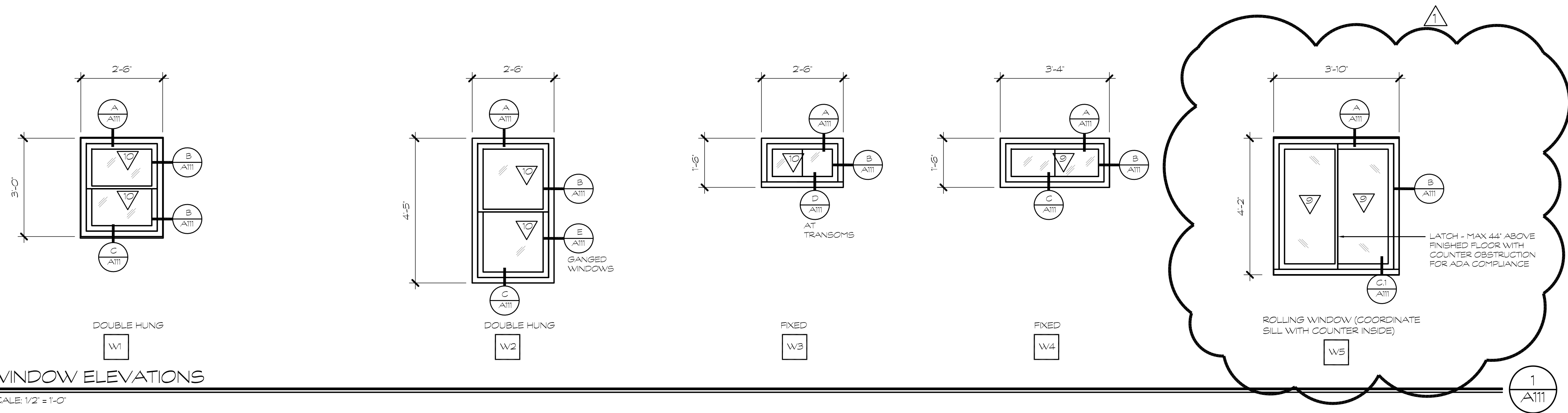
Project Number:

21007

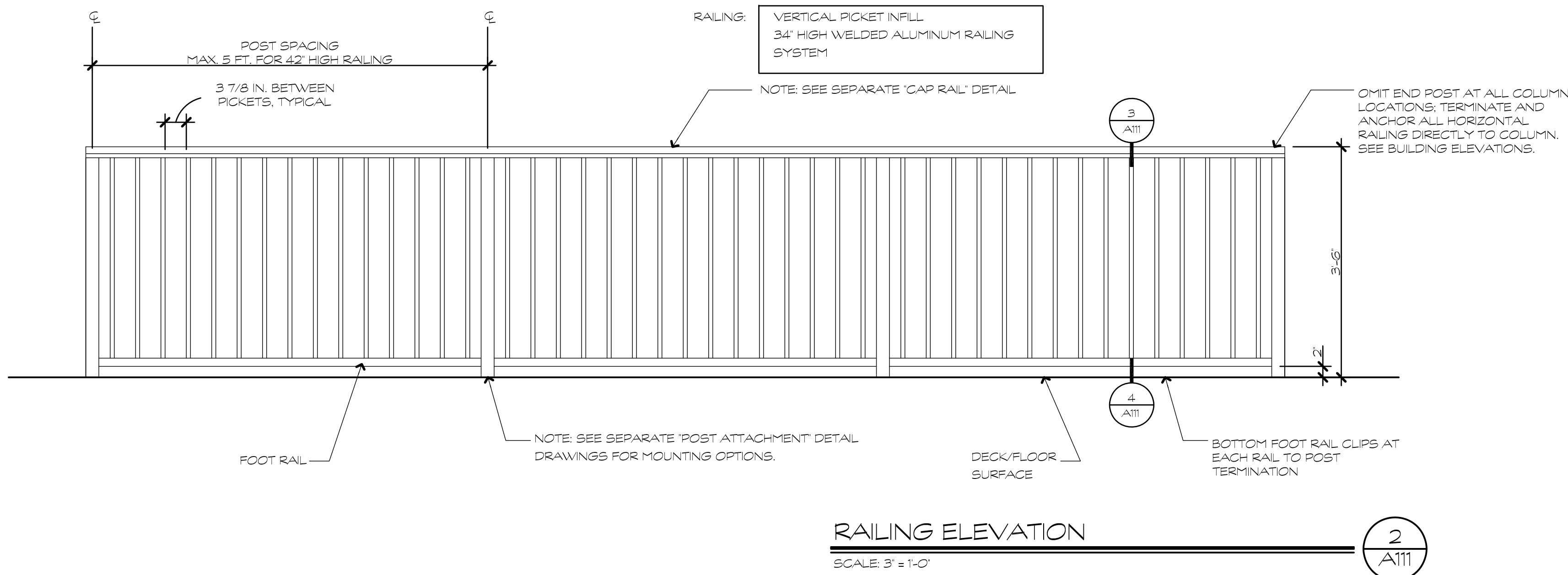
Drawing Number:

A110

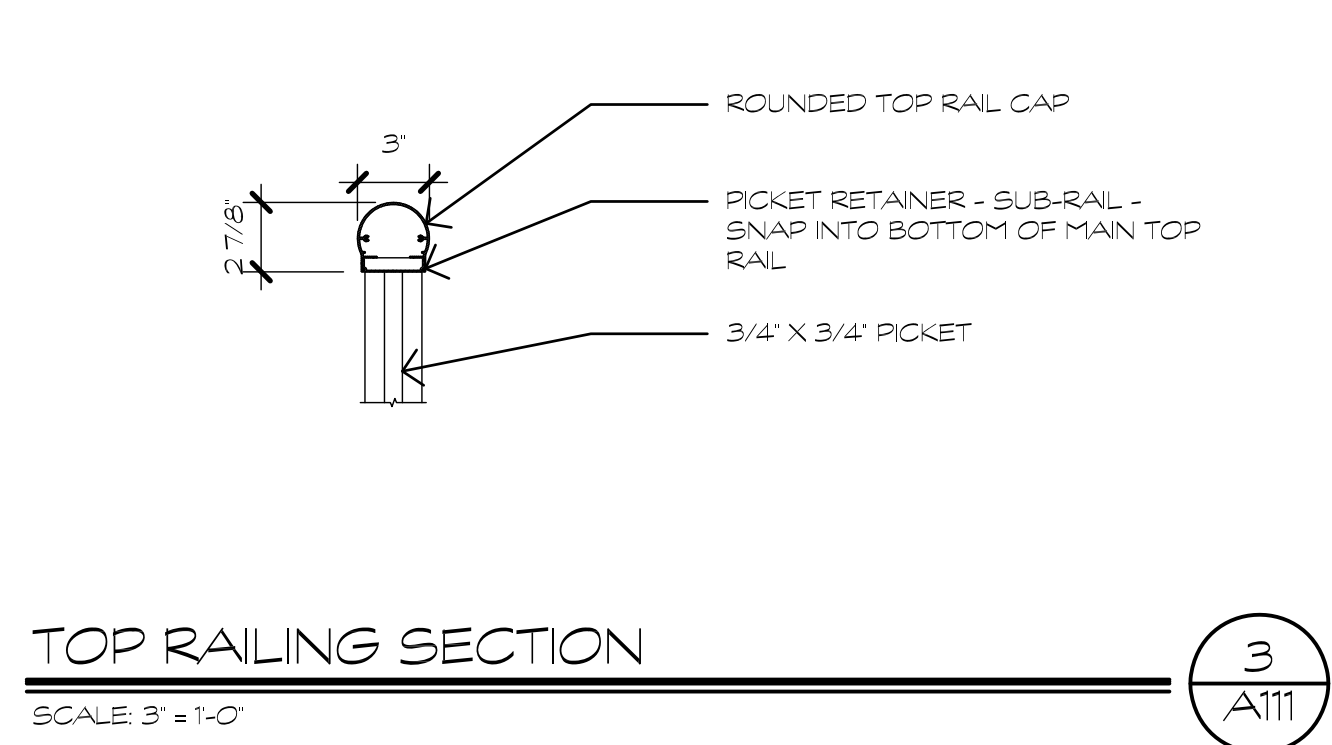




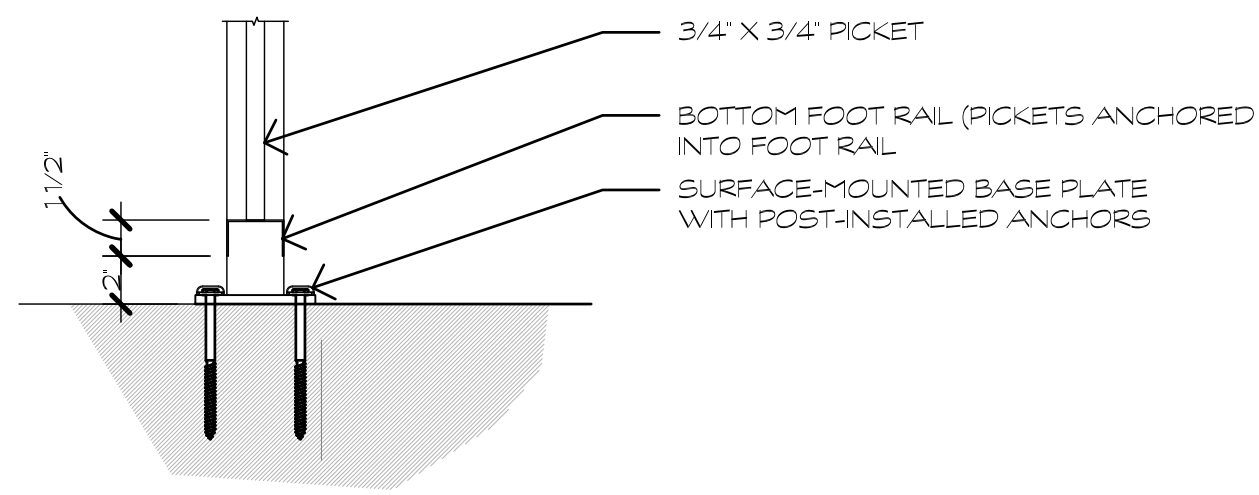
WINDOW ELEVATIONS  
SCALE: 1/2" = 1'-0"



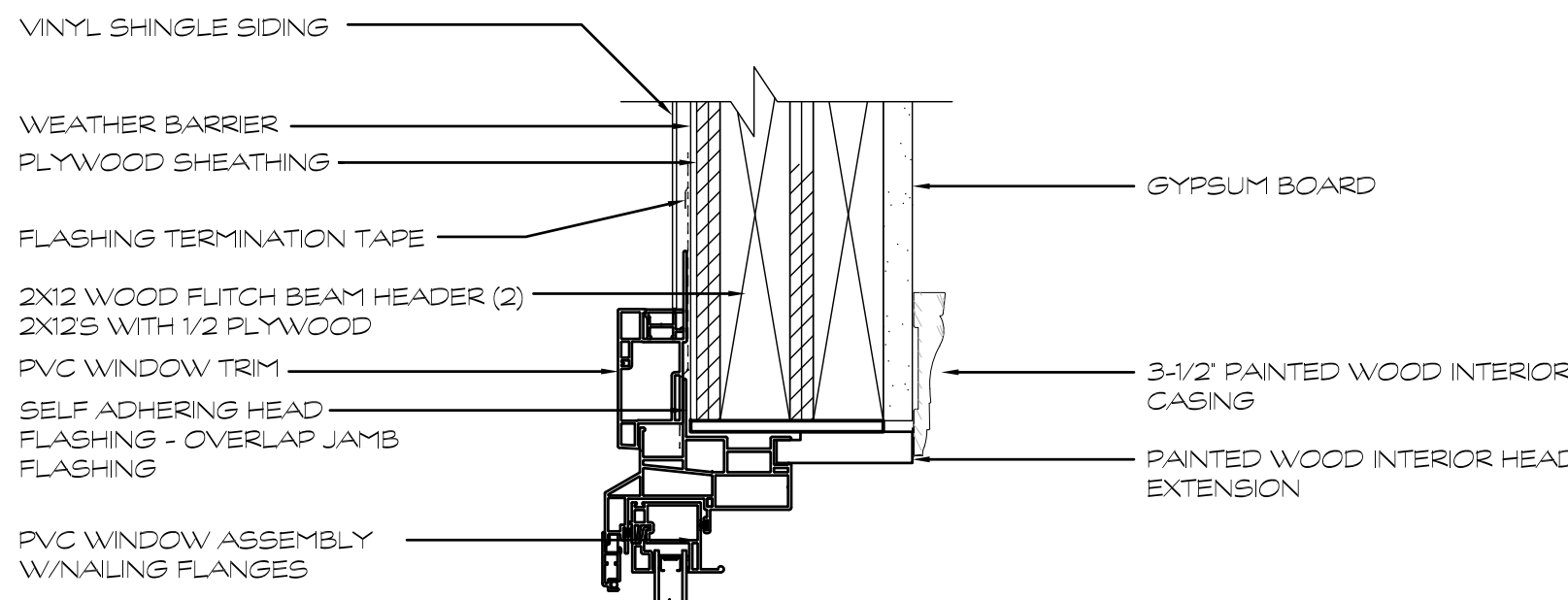
RAILING ELEVATION  
SCALE: 3" = 1'-0"



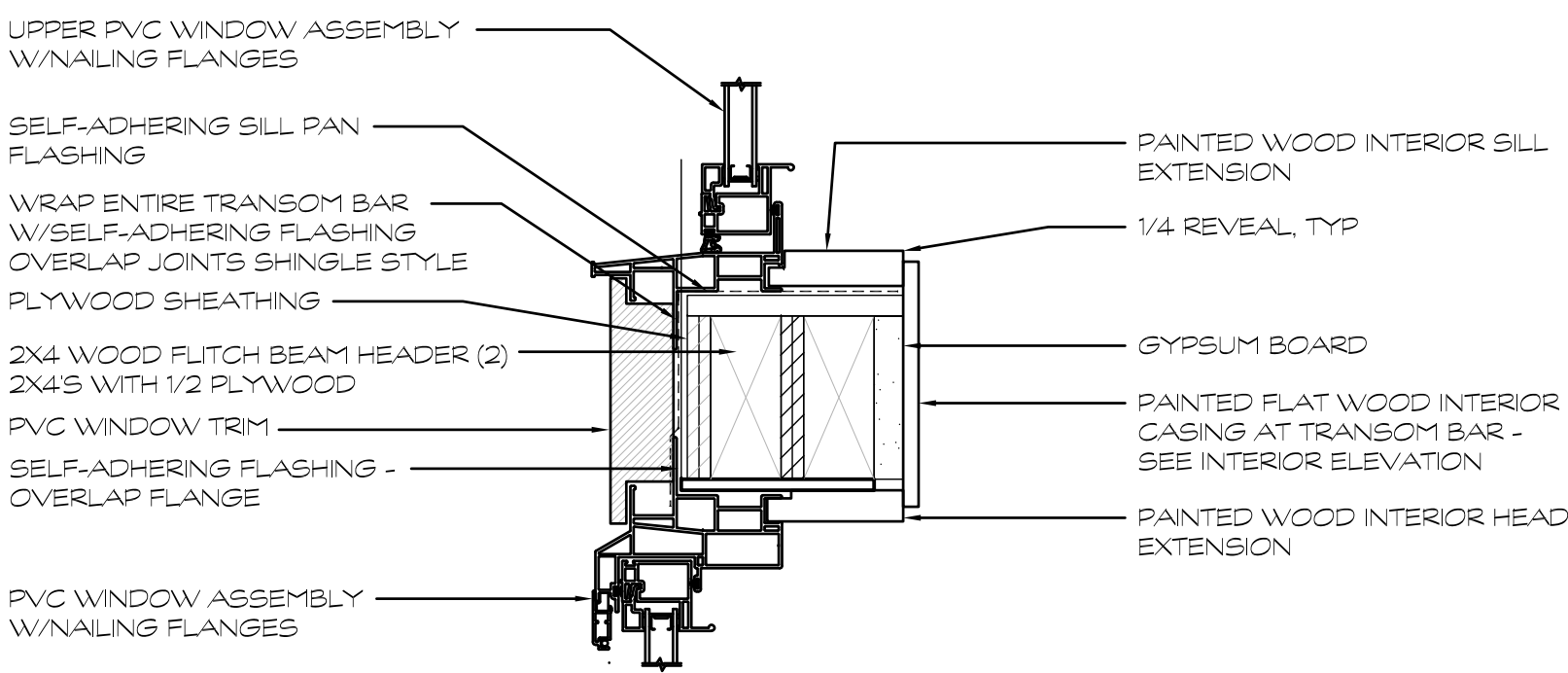
TOP RAILING SECTION  
SCALE: 3" = 1'-0"



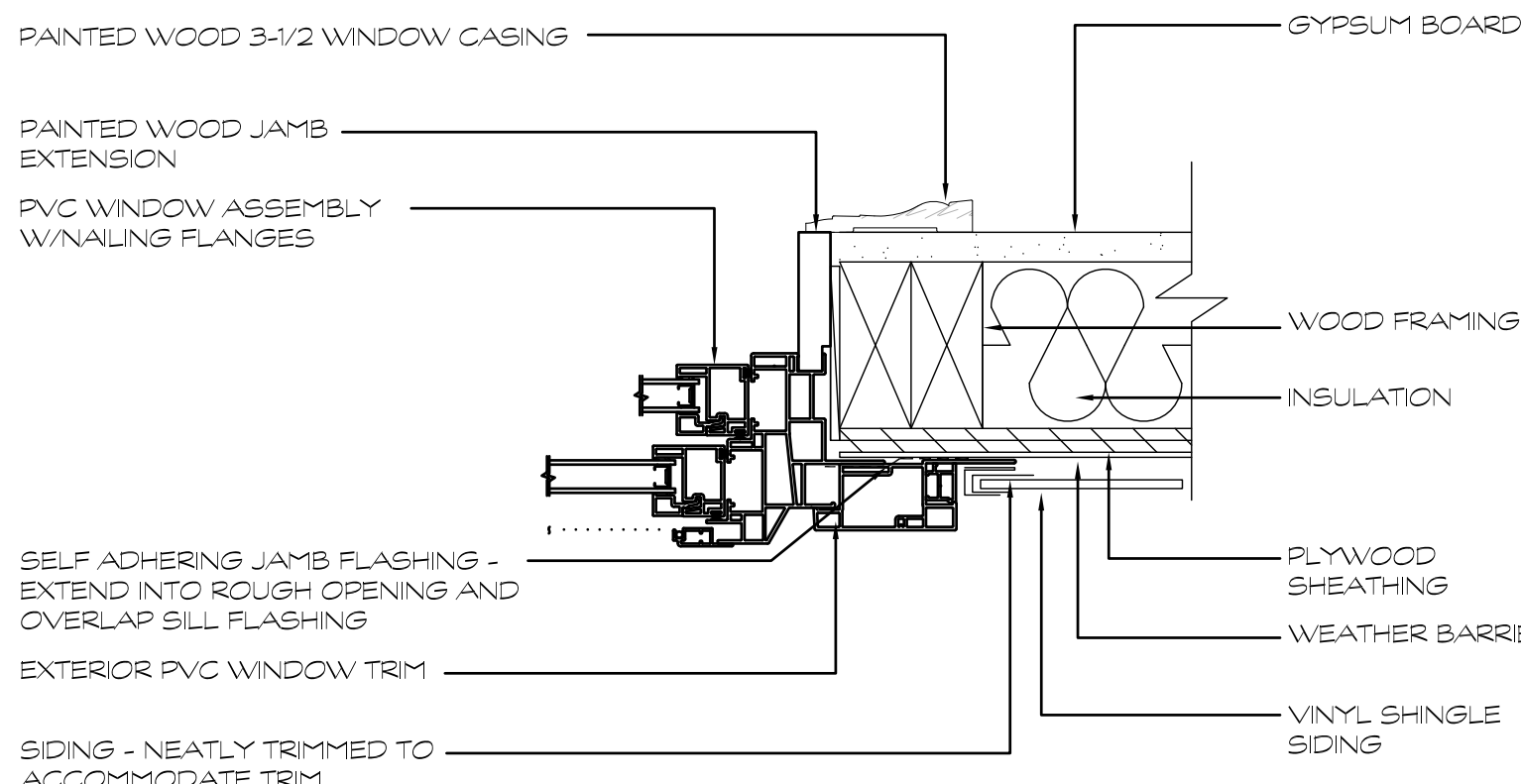
BOTTOM RAILING SECTION  
SCALE: 3" = 1'-0"



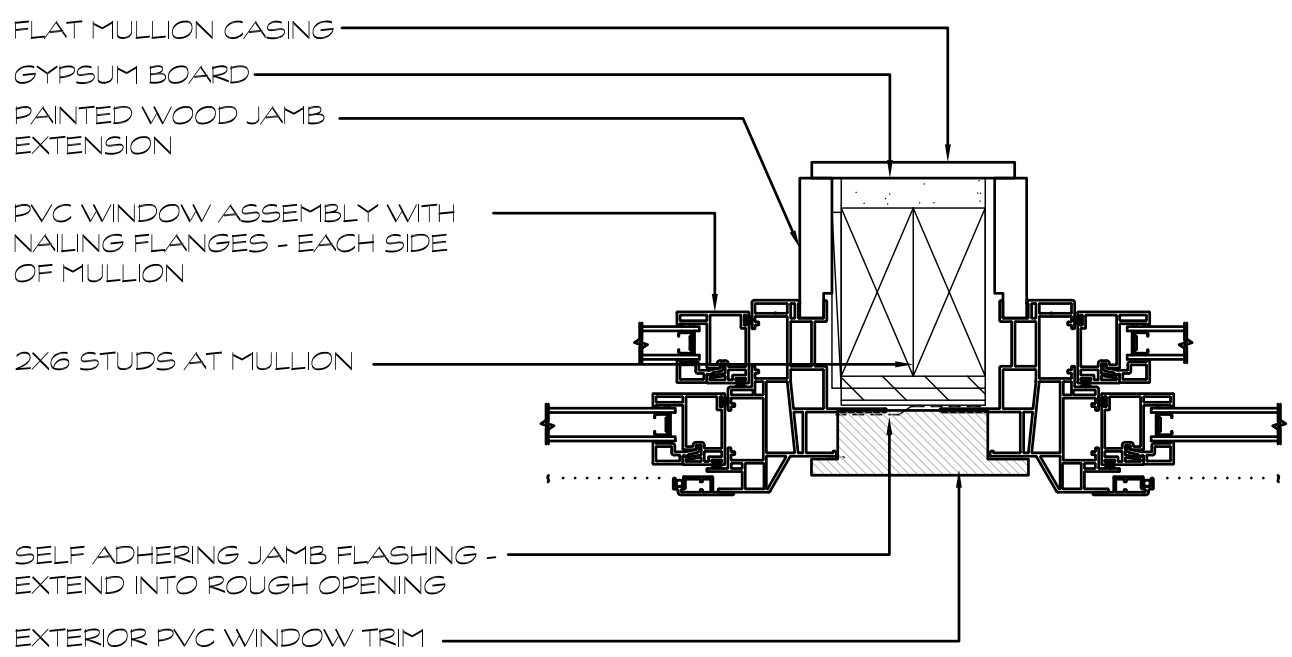
DETAIL - WINDOW HEAD  
SCALE: 3" = 1'-0"



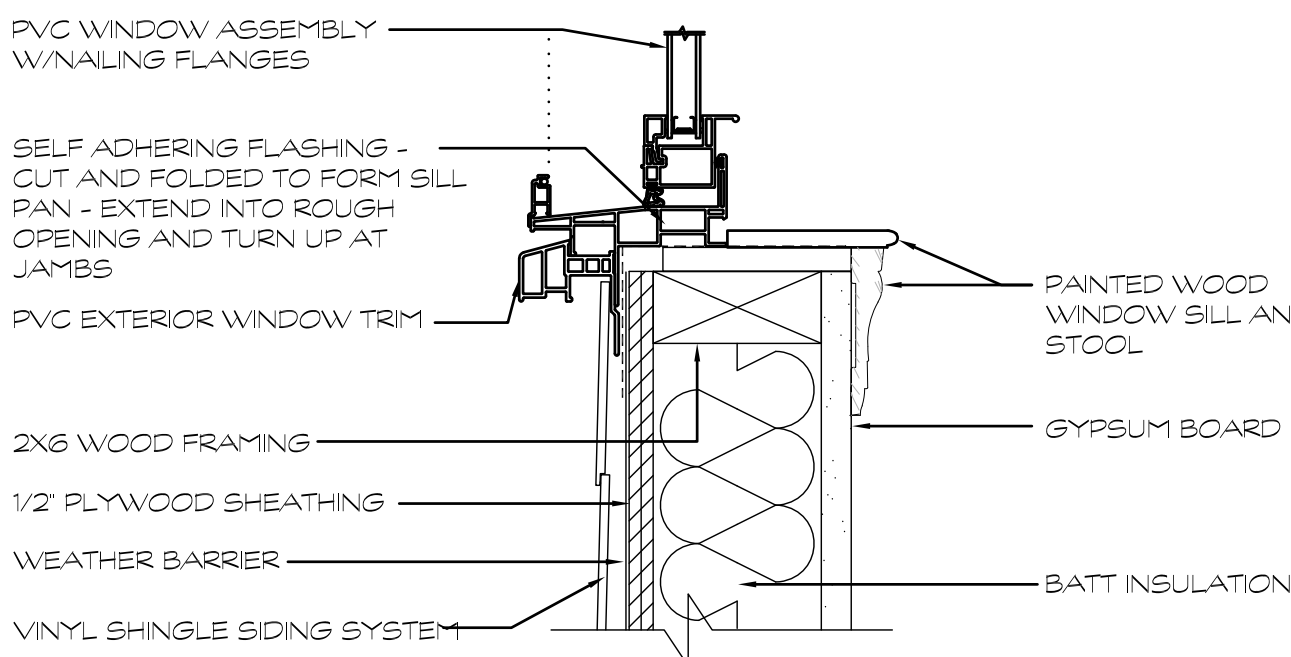
DETAIL - WINDOW SILL TO HEAD (TRANSOM BAR)  
SCALE: 3" = 1'-0"



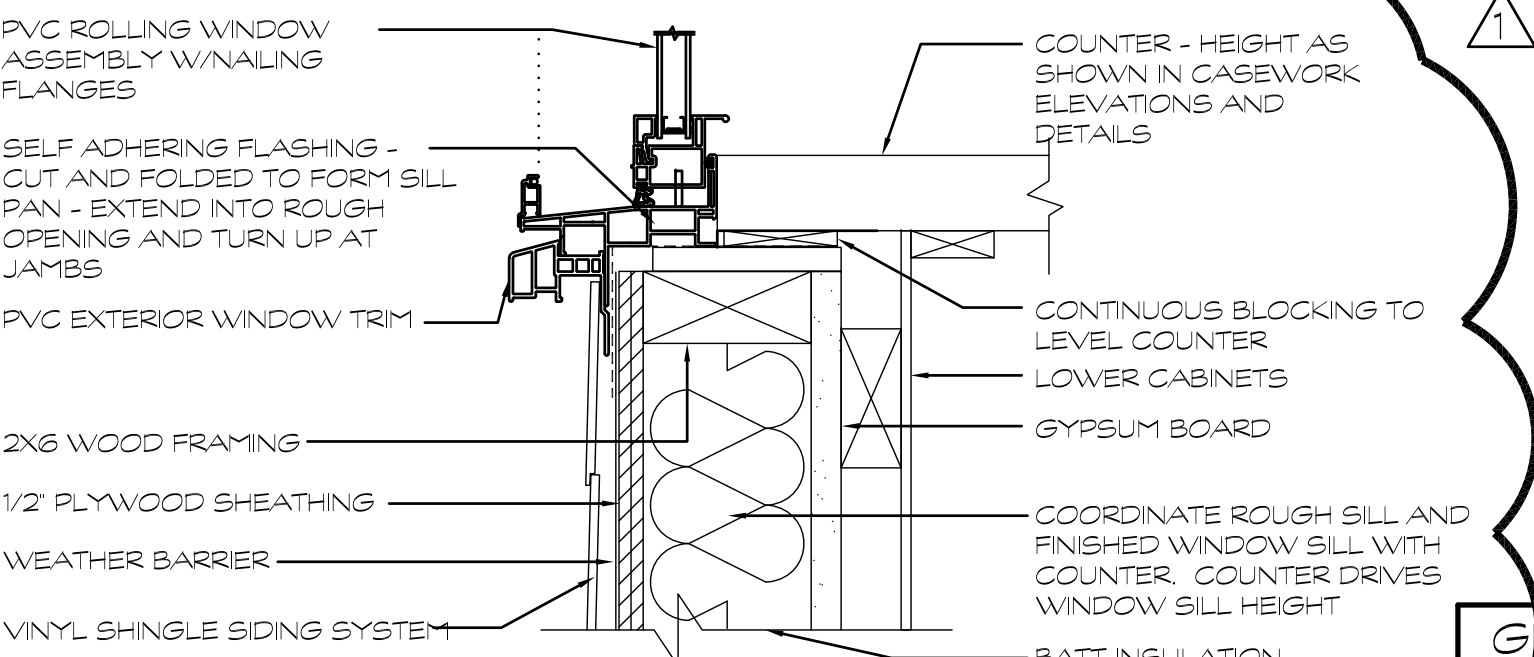
DETAIL - WINDOW JAMB  
SCALE: 3" = 1'-0"



DETAIL - WINDOW JAMB TO JAMB  
SCALE: 3" = 1'-0"



DETAIL - WINDOW SILL  
SCALE: 3" = 1'-0"



DETAIL - WINDOW SILL AT COUNTER  
SCALE: 3" = 1'-0"

GLAZING LEGEND	
GL-1	CLEAR
GL-2	CLEAR, TEMPERED
GL-3	INSULATED, CLEAR
GL-4	INSULATED, CLEAR, TEMPERED
SEE PLANS, ELEVATIONS, SCHEDULES & PROJECT MANUAL FOR ADDITIONAL INFORMATION	



**TYPE 1**

SEE SCHED

SEE SCHED

SOLID WOOD DOOR. SEE PROJECT MANUAL

FLUSH

16" KICK PLATE ON PUSH SIDE ONLY. SEE SCHED.

**TYPE 2**

SEE SCHED

SEE SCHED

6"

6"

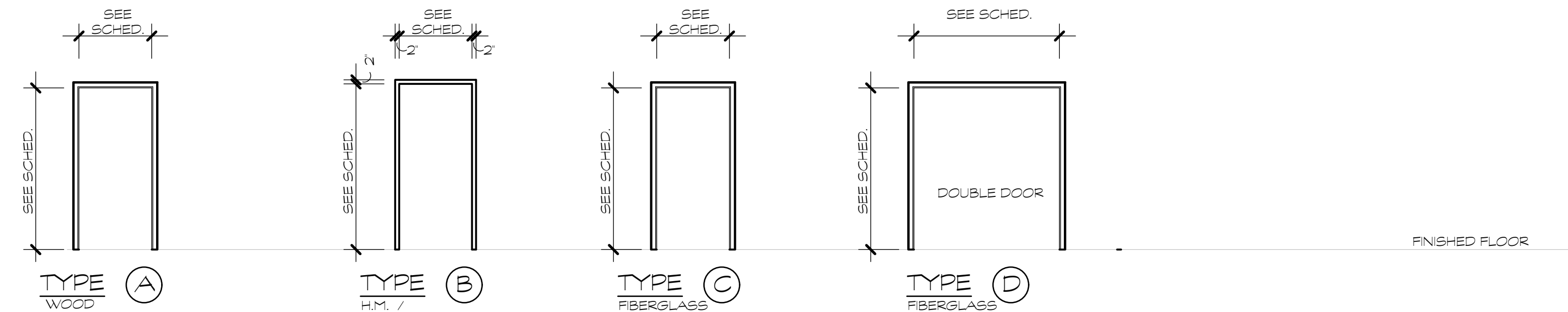
45/8"

SEE SCHED

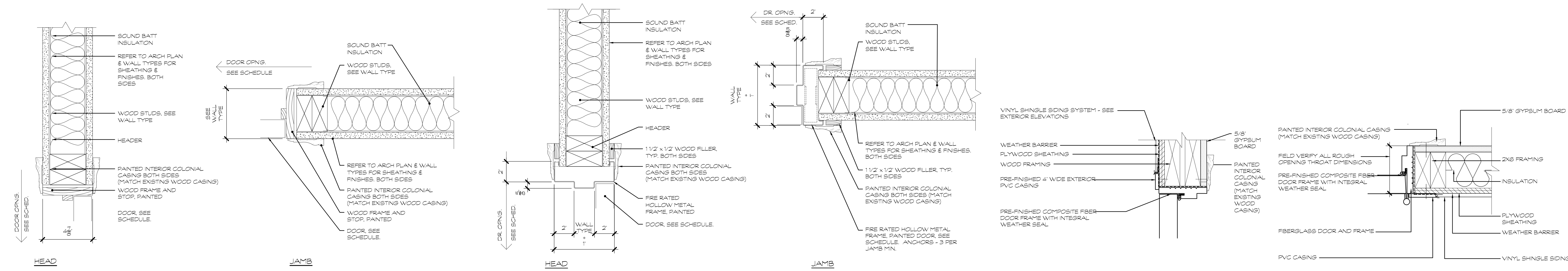
6" PROTECTION PLATE ON PUSH SIDE ONLY. SEE SCHED.

SCHEDULE REMARKS

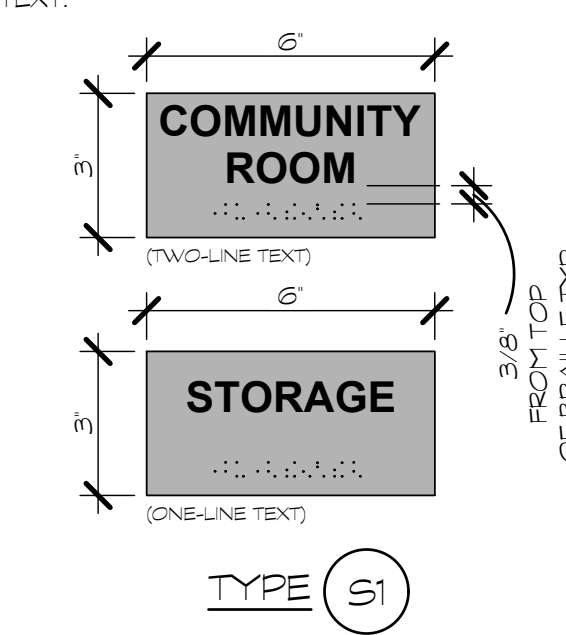
- |   |   |
|---|---|
| 1. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS & DIMENSIONS.   | 1. DOOR SHALL BE PRE-HUNG.                        |
| 2. ALL NEW KICK PLATES SHALL BE 16" HIGH AND OFFSET 1" FROM EDGES OF DOOR UNLESS OTHERWISE NOTED. CENTERED AT BOTTOM OF DOOR.   | 2. DOOR SHALL BE PRE-DRILLED FOR LOCKSET.         |
| 3. ALL GLASS IN DOORS, SIDELITES AND TRANSOMS SHALL BE "TEMPERED UNLESS OTHERWISE NOTED. SEE GLAZING LEGEND AND SPECIFICATIONS FOR SPECIFIC THICKNESS AND TYPE.                             | 3. COORDINATE MAGNETIC HOLD OPEN WITH FIRE ALARM. |
| 4. ALL EXTERIOR DOORS SHALL RECEIVE FULL WEATHERSTRIPPING ON SIDES, TOP AND BOTTOM.   |   |
| 5. DOORS SCHEDULED BE INSTALLED IN EXISTING LOCATIONS SHOWN BE FABRICATED TO FIT WITHIN EXISTING ROUGH OPENING. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO ORDERS DOORS AND FRAMES |   |



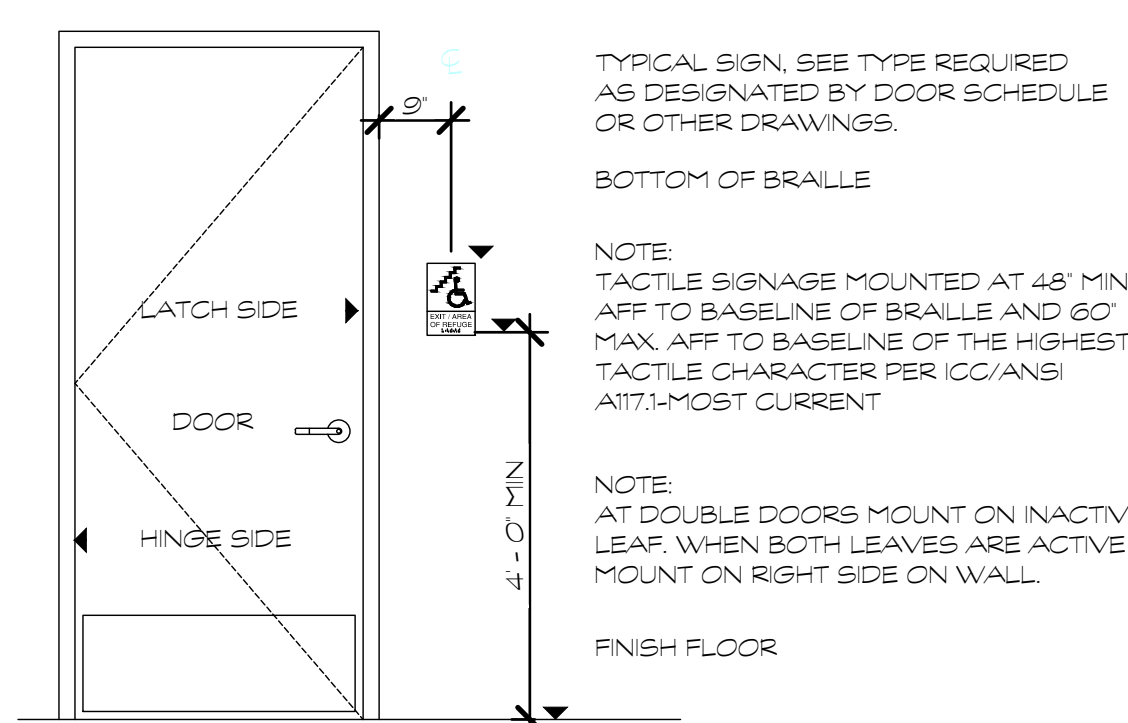
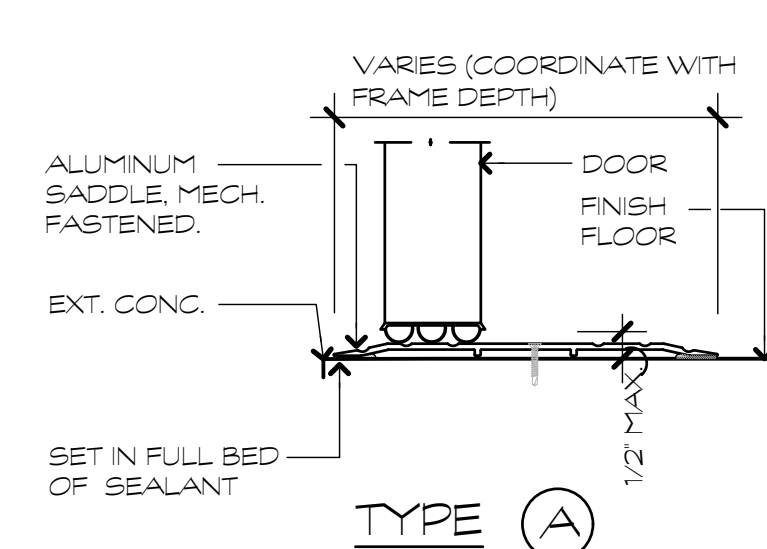
2  
A112



3  
A112



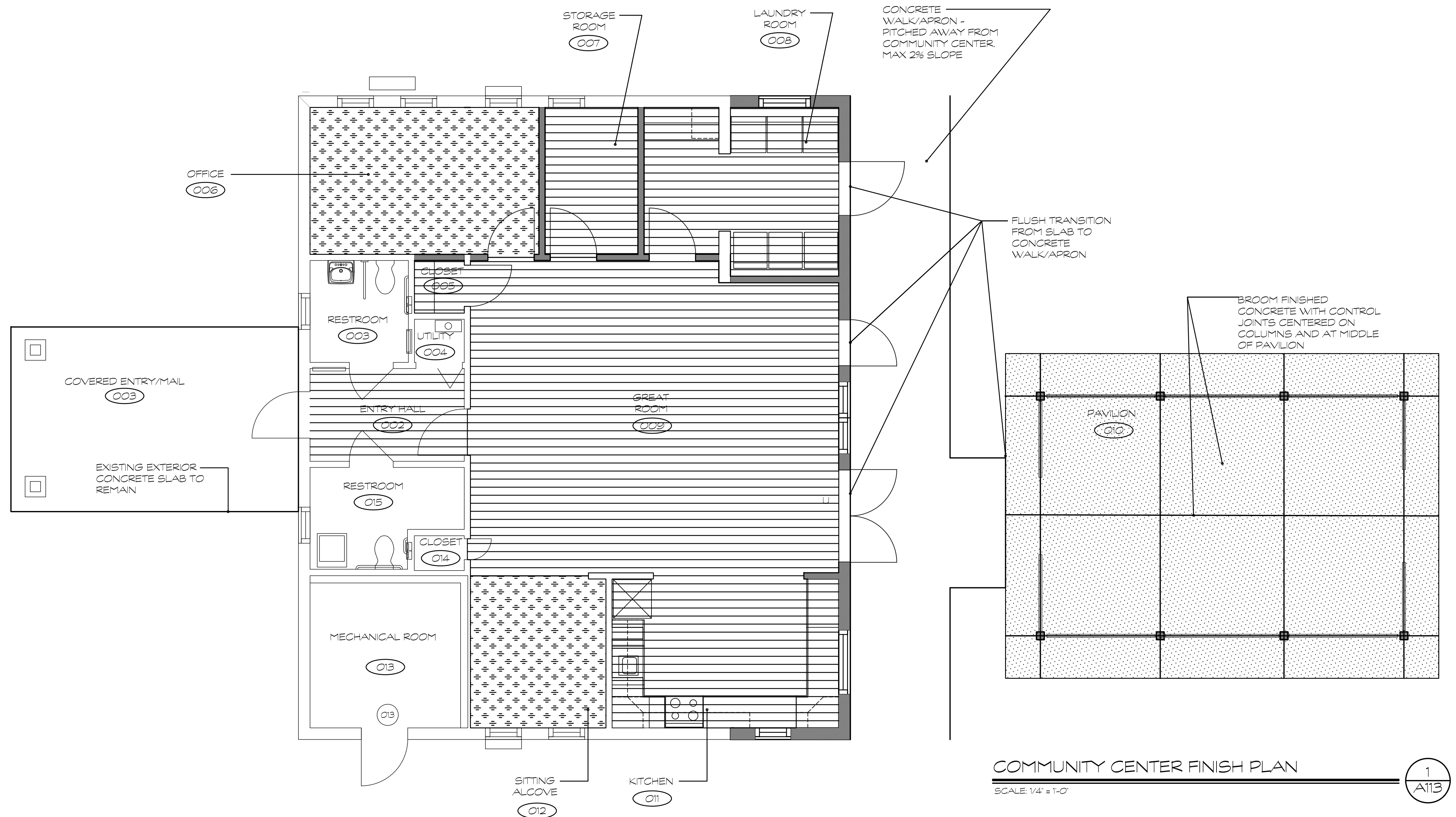
4  
A112


$$= \frac{5}{A112}$$


6  
A112

GENERAL NOTE:  
REFER TO EXTERIOR ELEVATIONS, BUILDING SECTIONS, AND  
WALL SECTIONS FOR ADDITIONAL DETAILS REGARDING EXTERIOR  
WALL COMPOSITION





FLOOR PATTERN LEGEND	
	EXISTING FLOORS TO REMAIN
	EXPOSED CONCRETE SLAB
	CARPET
	LVT - LUXURY VINYL TILE

ROOM FINISH SCHEDULE										
ROOM		FLOOR	WALL FINISH				CEILING		NOTES	
NO.	ROOM NAME	FLOOR FIN.	BASE	CEILING	WALL	WALL	MATL.	HGHT.		
002	ENTRY HALL	LVT	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	MATCH LVT IN HALL TO GREAT ROOM
003	RESTROOM	ETR	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
004	UTILITY	ETR	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
005	CLOSET	LVT	RB-J	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
006	OFFICE	CPT	RB-J	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
007	STORAGE ROOM	LVT	RB-J	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
008	LAUNDRY ROOM	LVT	RB-J	PT-J	PT-J	PT-J	PT-J	GB	7'-2"	1
009	GREAT ROOM	LVT	RB-J	PT-J	PT-J	PT-J	PT-J	GB	VARIES	
010	PAVILION	CONC	N/A	N/A	N/A	N/A	N/A	ESP	VARIES	
011	KITCHEN	LVT	RB-J	PT-J	PT-J	PT-J	PT-J	GB	ETR	
012	SITTING ALCOVE	CPT	RB-J	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
013	MECHANICAL ROOM	ETR	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
014	CLOSET	ETR	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	
015	RESTROOM	ETR	ETR	PT-J	PT-J	PT-J	PT-J	ETR	ETR	

**LEGEND**

- CONC - CONCRETE SLAB
- ESP - EXPOSED STRUCTURE
- ETR - EXISTING TO REMAIN
- GB - GYPSUM BOARD
- LVT - LUXURY VINYL TILE
- PT - PAINT
- RB - RUBBER BASE
- TGW - WOOD AND GROOVE WOOD CEILING (EXPOSED UNDERSIDE OF ROOF DECK)

**GENERAL NOTES**

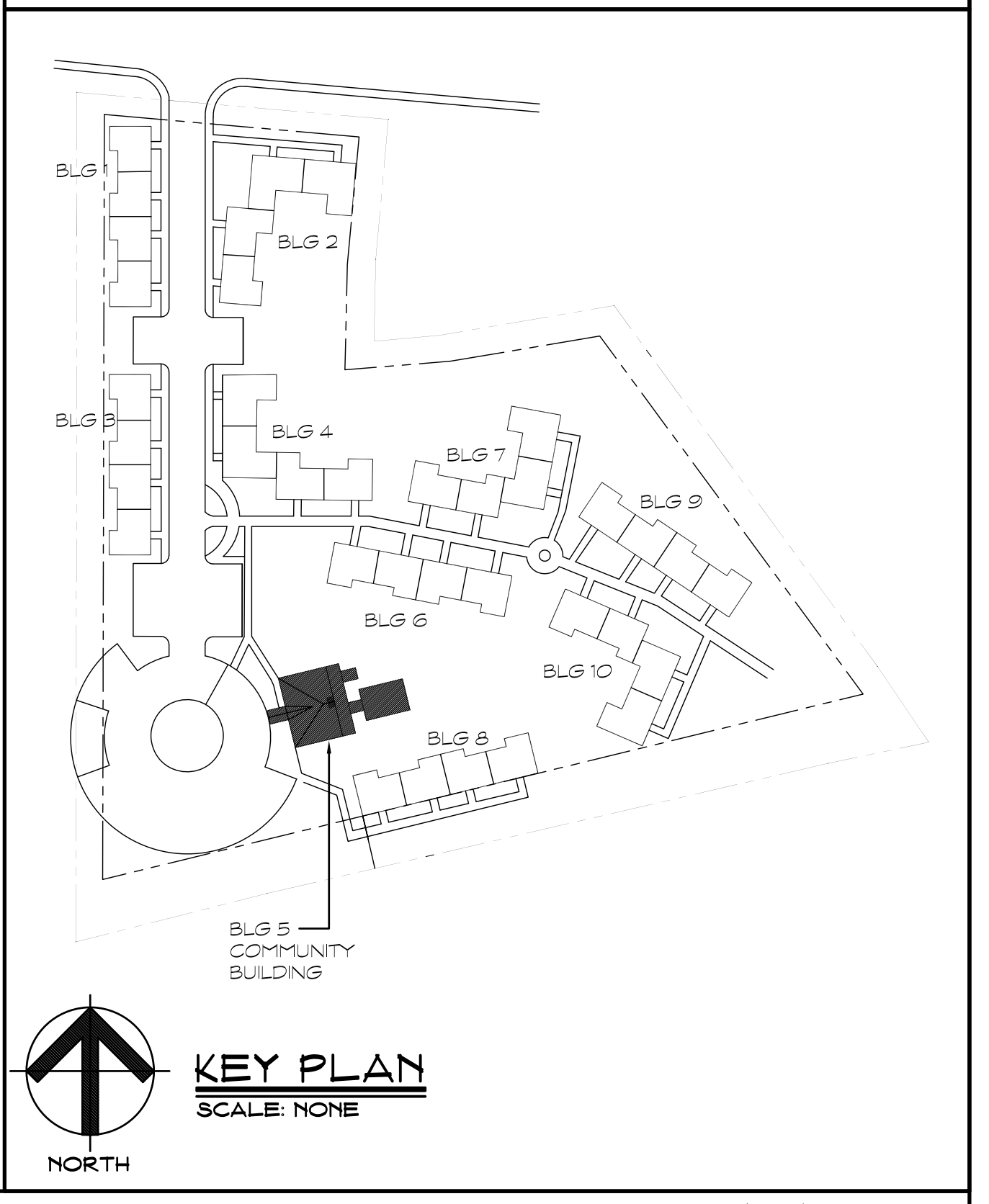
- PATCH, PRIME, AND REPAINT ALL GYPSUM BOARD AND WOOD TRIM AFFECTED BY NEW SCOPE OF WORK - EXTEND REPAINTING TO NEAREST CORNER/EDGE.
- PAINT ALL NEW FRAMES AND DOORS TO MATCH EXISTING FRAMES AND DOORS.
- INTERIOR OF ALL NEW EXTERIOR DOORS TO MATCH INTERIOR DOORS.
- PROVIDE RUBBER TRANSITIONS STRIPS BETWEEN CHANGES IN FLOOR FINISHES.
- REPAINT ALL EXISTING CEILINGS THROUGHOUT COMMUNITY BUILDING TO MATCH NEW (COLOR AND TEXTURE)

**WINDOW SHADE NOTES**

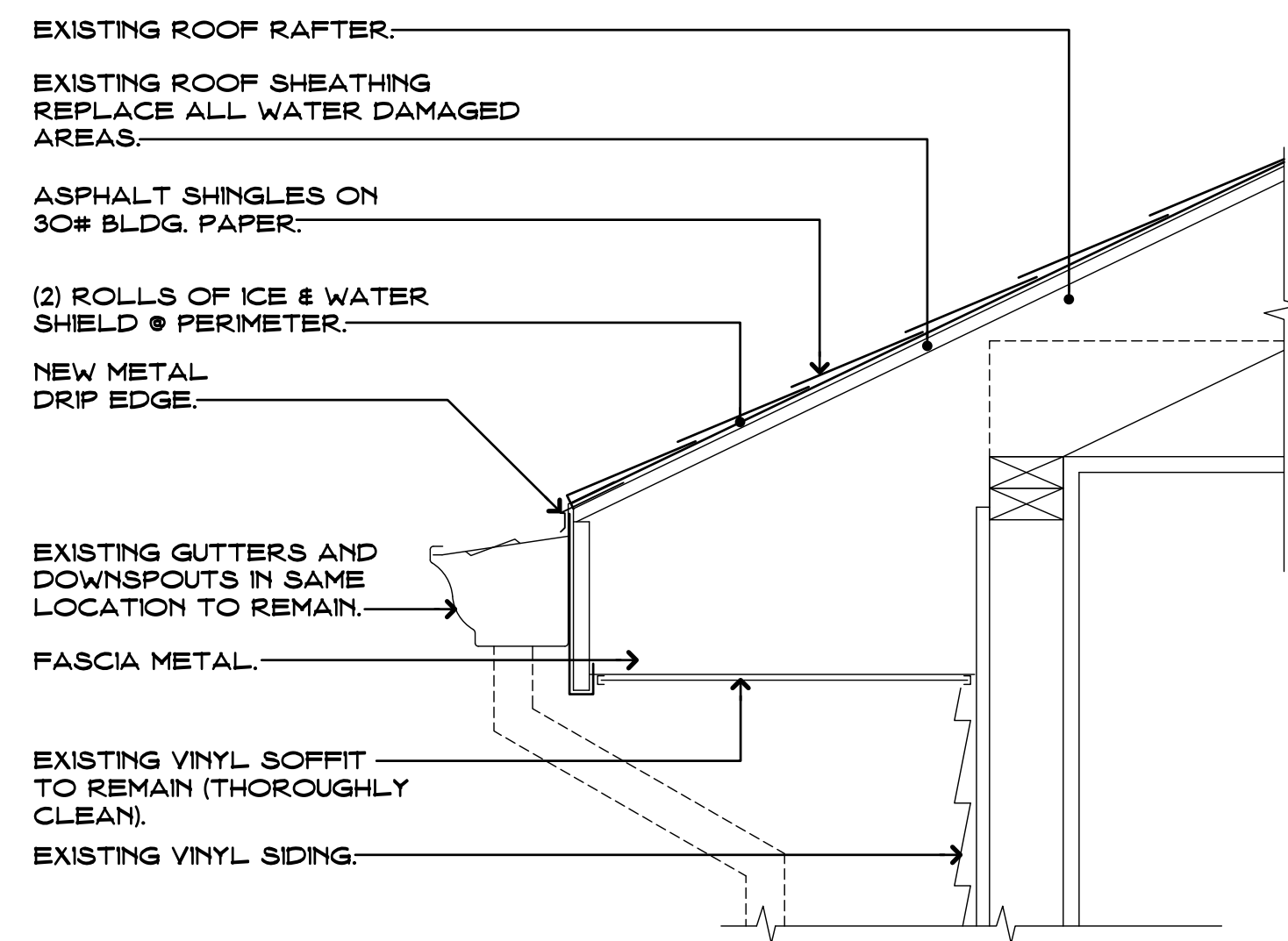
- EXISTING WINDOW SHADES/BLINDS ARE TO BE REMOVED AT ALL WINDOW & DOOR FRAMES TO BE REMOVED. SEE DEMO PLANS. ALSO, REMOVE SHADES AT LOCATIONS OF NEW SHADES LISTED BELOW.
- PROVIDE BLINDS AT ALL NEW AND EXISTING WINDOW & DOOR LOCATIONS IN THE FOLLOWING ROOMS:  
006 OFFICE  
007 STORAGE  
009 GREAT ROOM  
011 KITCHEN  
012 SITTING ROOM
- SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.

**ROOM FINISH SCHEDULE NOTES**

- MATCH SOFFIT WITHIN LAUNDRY ROOM WITH CEILING FINISH



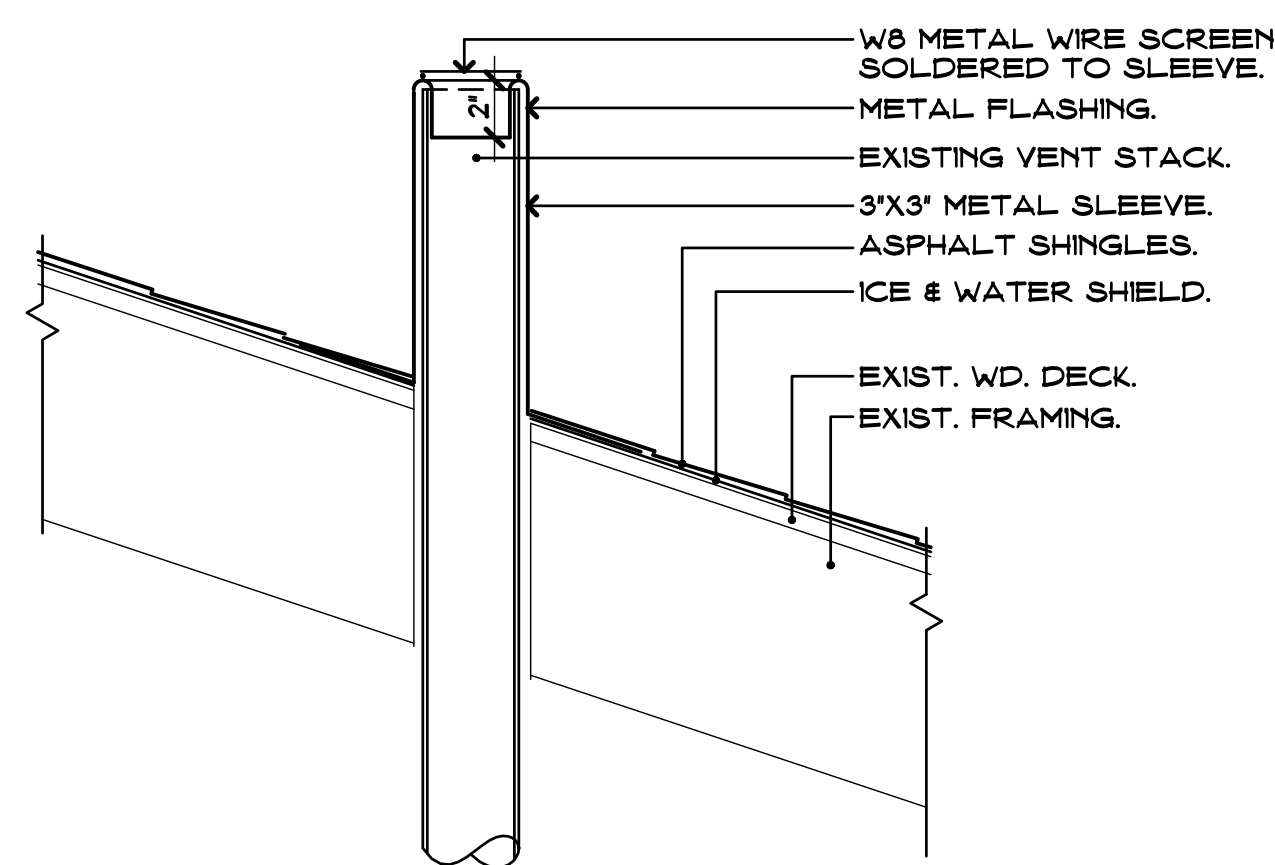




#### ROOF DETAIL

SCALE: 1 1/2" = 4'-0"

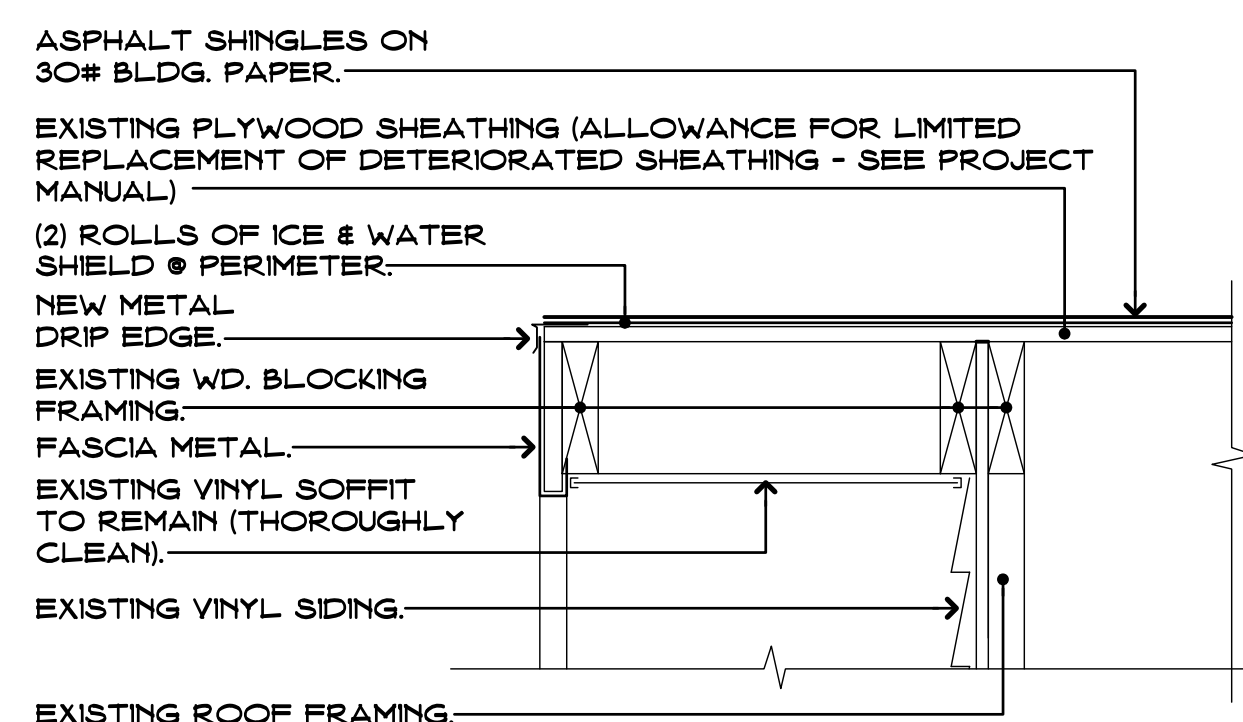
A  
A114



#### VALLEY DETAIL

SCALE: 1 1/2" = 4'-0"

B  
A114



#### RAKE DETAIL

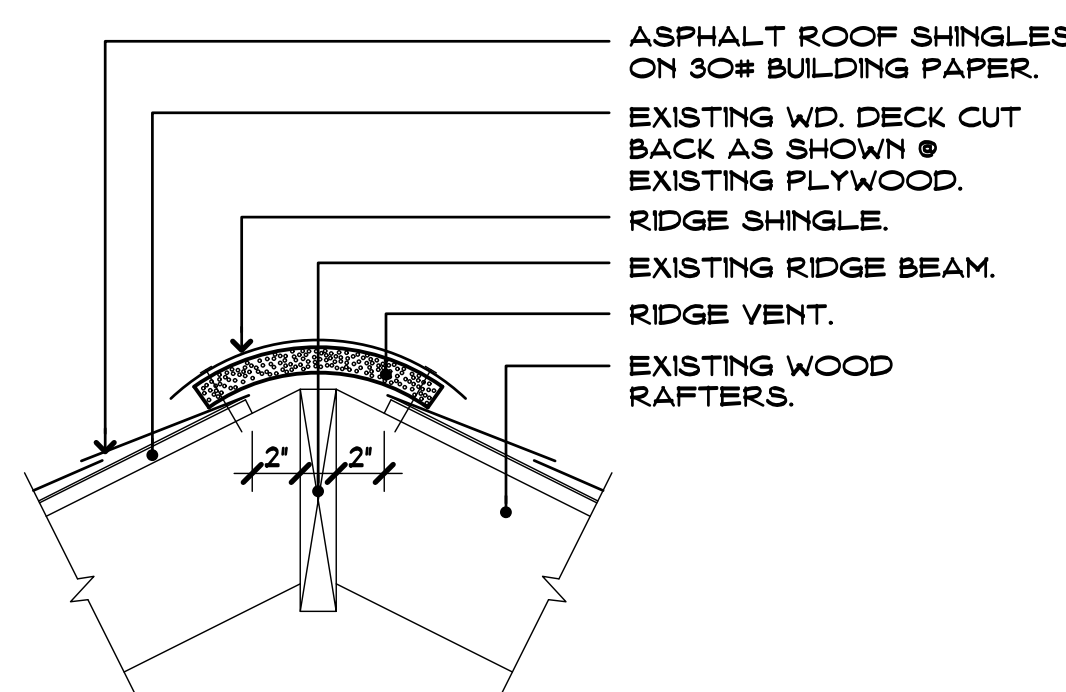
SCALE: 1 1/2" = 4'-0"

D  
A114

#### VENT STACK FLASHING DETAIL

SCALE: 1 1/2" = 4'-0"

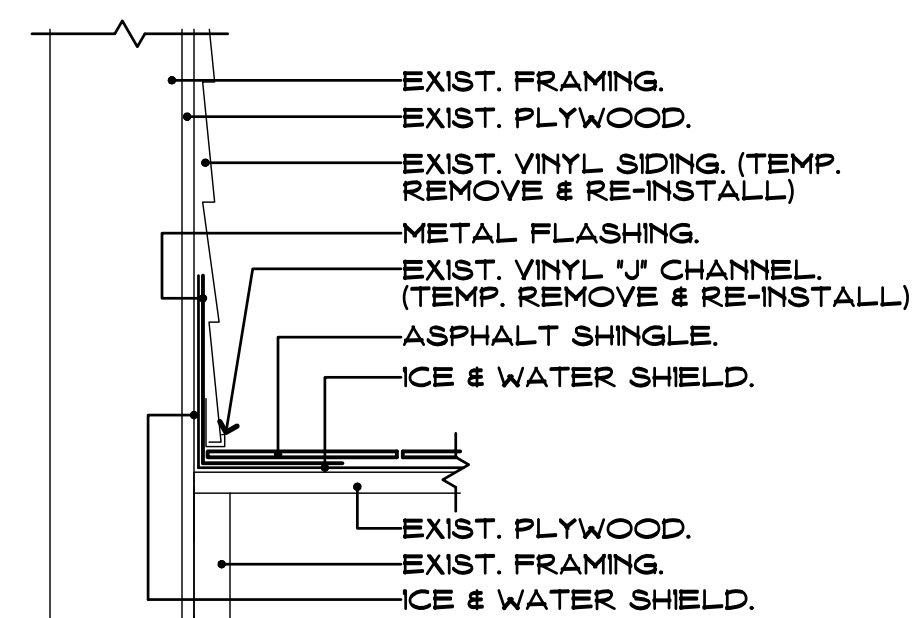
C  
A114



#### RIDGE DETAIL

SCALE: 1 1/2" = 4'-0"

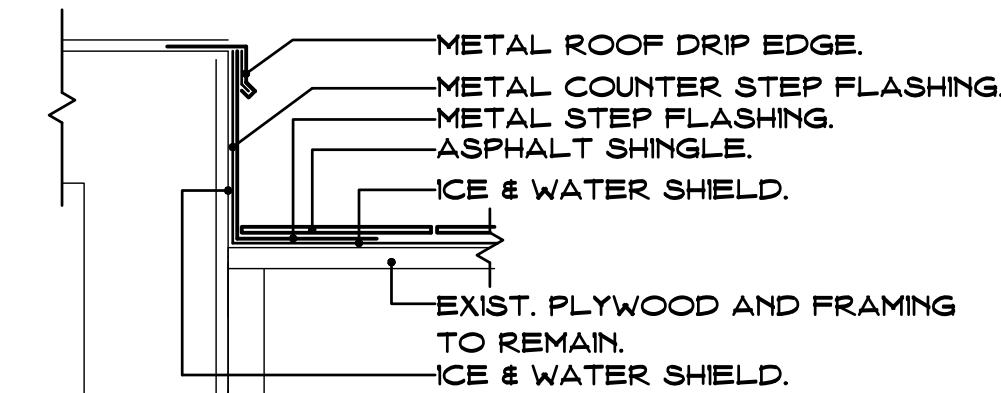
E  
A114



#### WALL FLASHING DETAIL

SCALE: 1 1/2" = 4'-0"

F  
A114



#### ROOF FLASHING DETAIL HIGH TO LOW ROOF AT ENTRIES

SCALE: 1 1/2" = 4'-0"

G  
A114

#### TYPE "A" ROOF PLAN BUILDINGS 2,4,7,10

SCALE: 1 1/2" = 4'-0"

2  
A114

#### TYPE "B" ROOF PLAN BUILDINGS 1,3,6,8,9

SCALE: 1 1/2" = 4'-0"

3  
A114

#### MAIN STREET (CT ROUTE #154)

BUILDING 1

BUILDING 2

BUILDING 7

BUILDING 4

BUILDING 3

BUILDING 6

BUILDING 9

BUILDING 10

BUILDING 8

BUILDING 5  
COMMUNITY  
CENTER

ESSEX COURT  
APARTMENT COMMUNITY  
(IN SCOPE)

#### REFERENCE APARTMENT LOCATION DRAWING

SCALE: 1" = 30'-0"

1  
A114

Project Title:

Essex Housing Authority

Renovations at Essex Court

16 Main Street  
Centerbrook, CT 06409



SILVER / PETRUCCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucci.com

Revision:

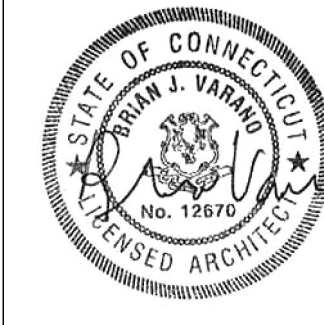
Description:

Date:

Revised By:

BID DOCUMENTS

9/16/2022



Drawing Title:

Apartment Roof Plans  
and Details

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

ECG

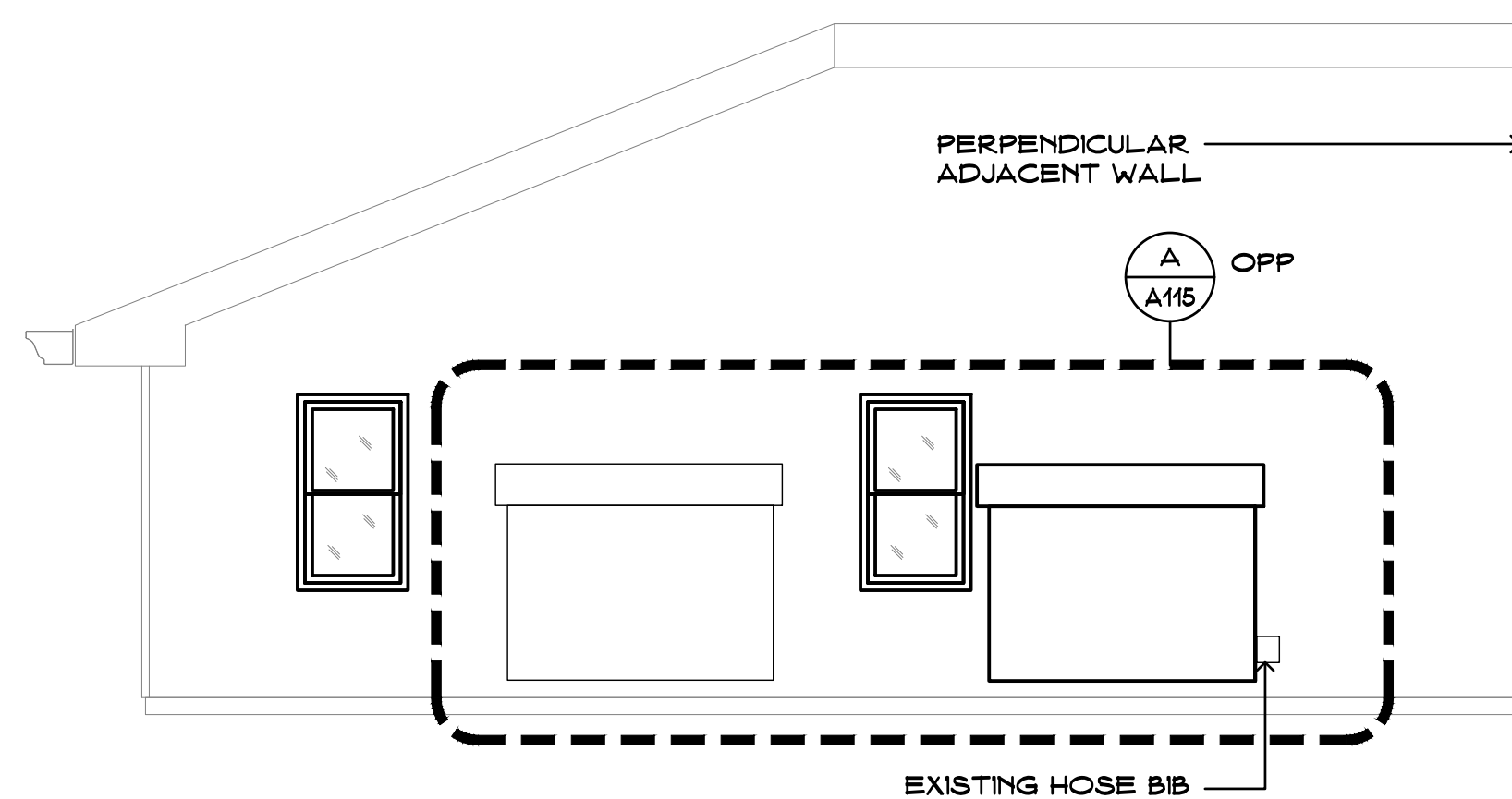
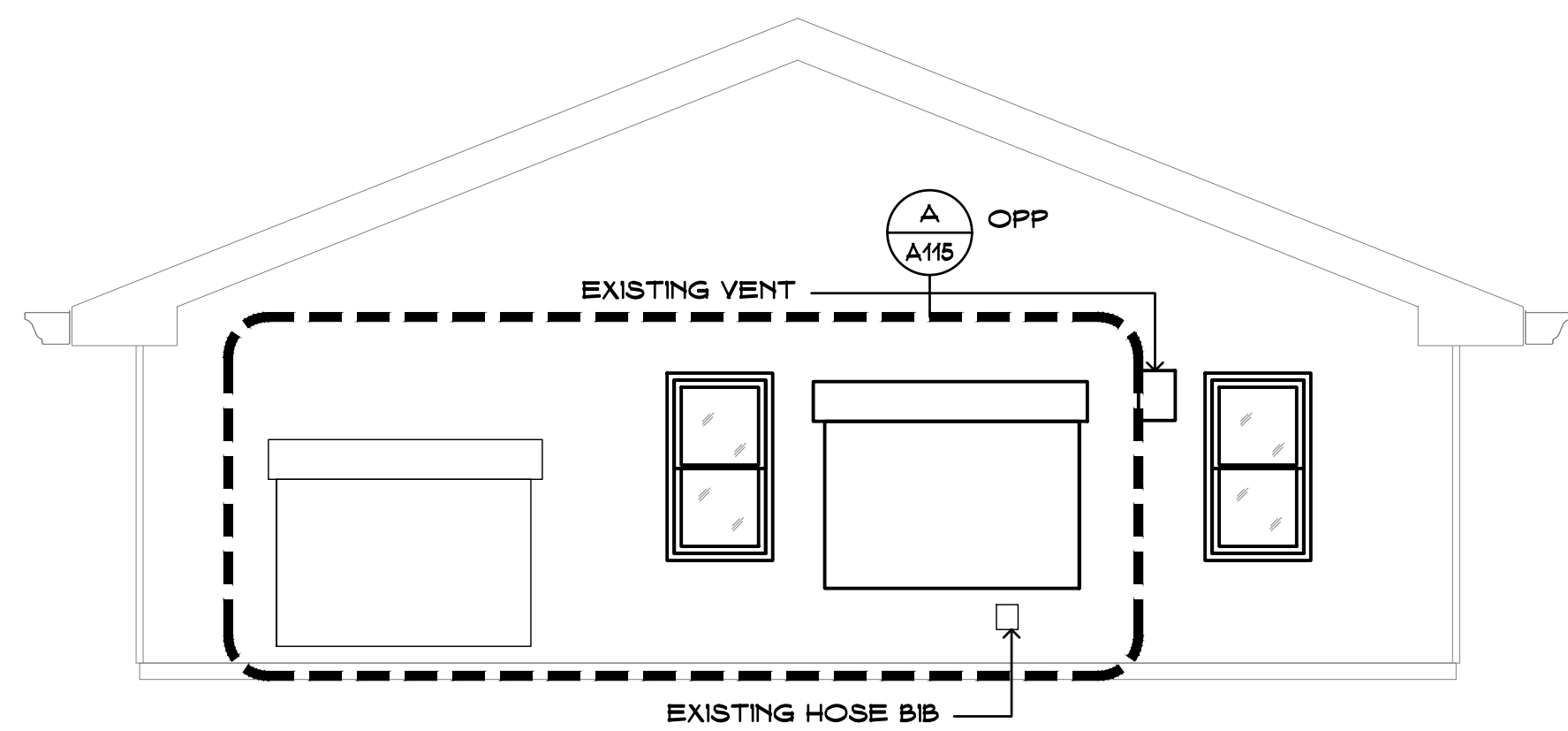
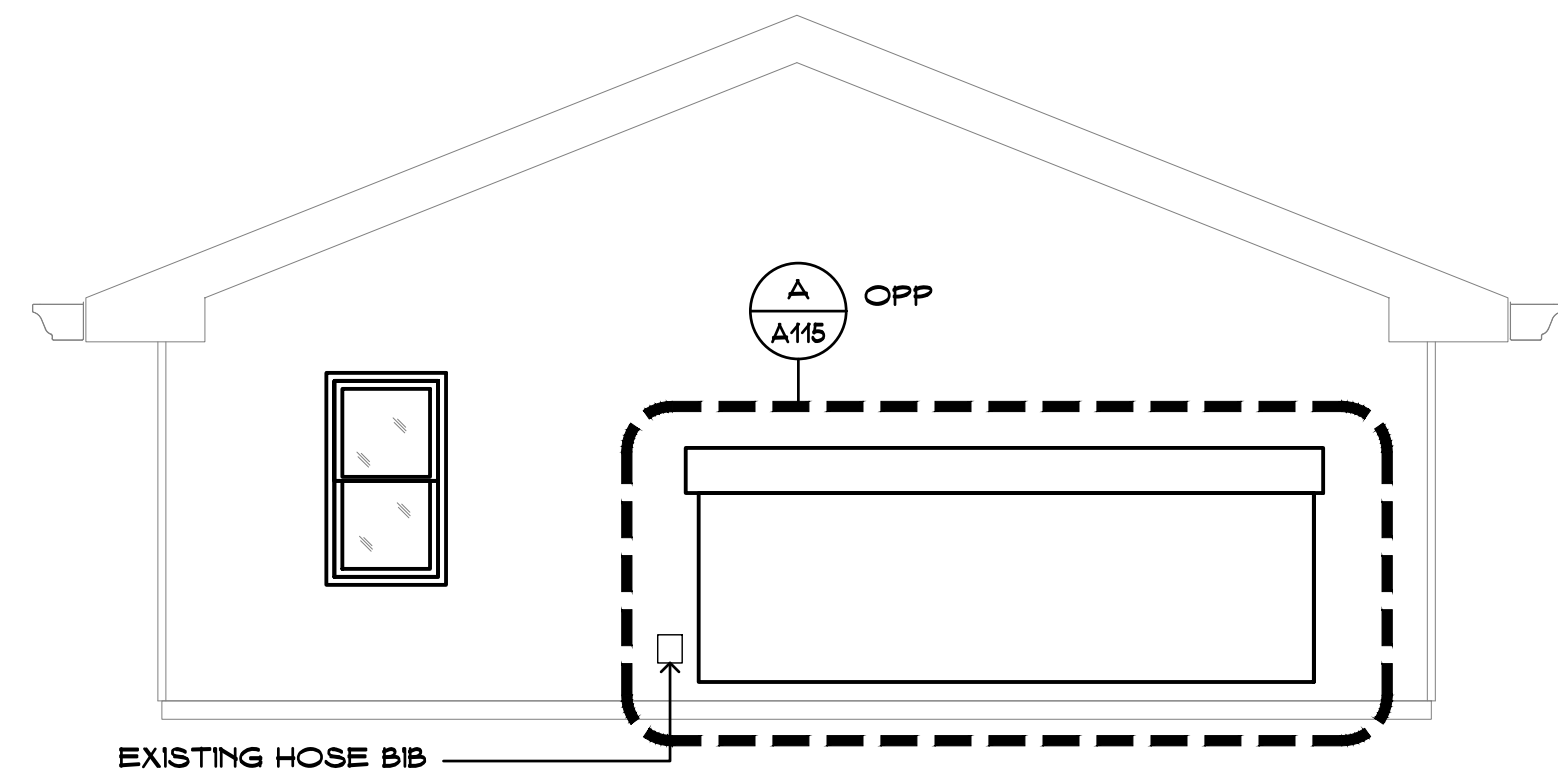
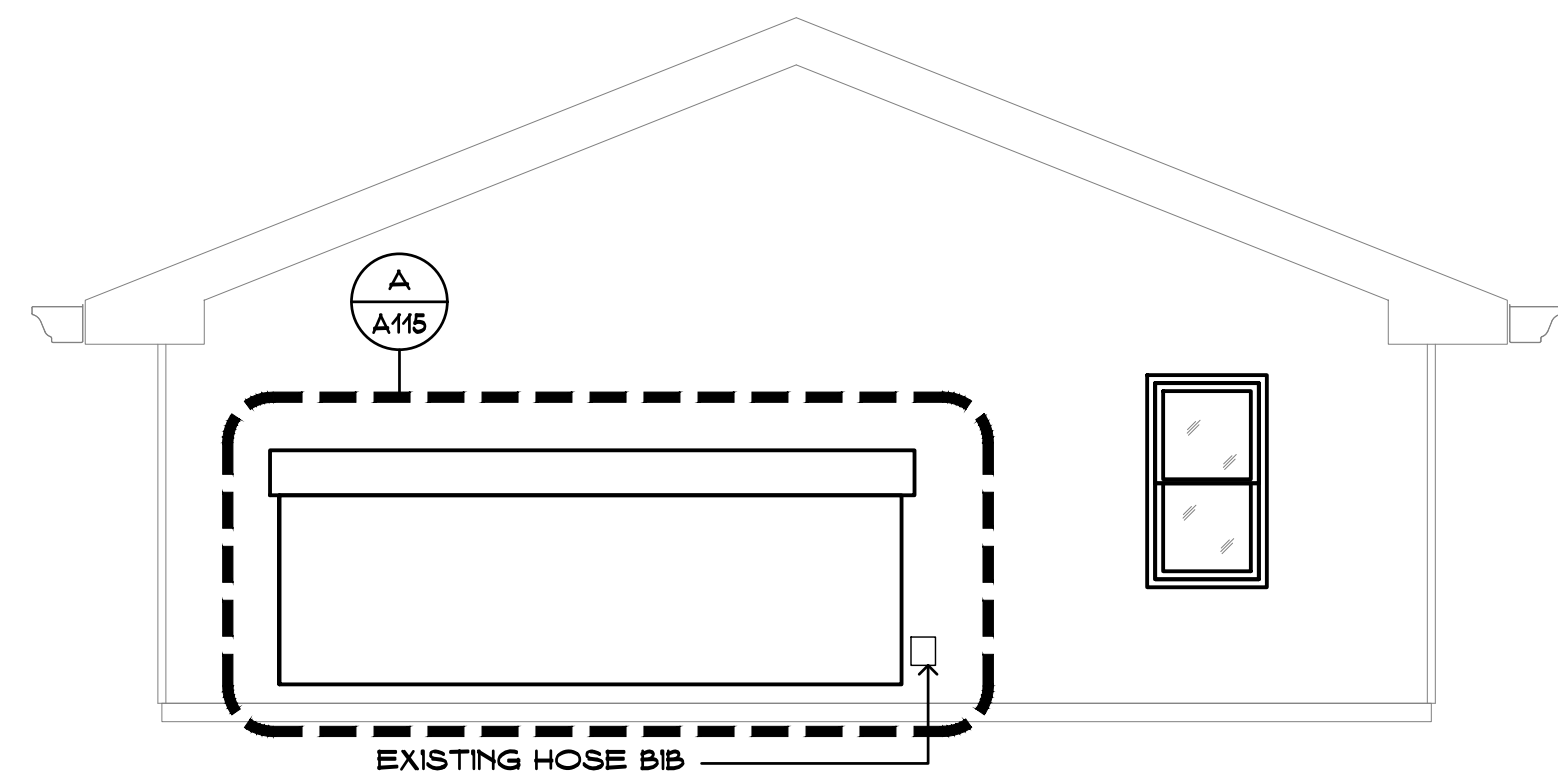
Project Number:

21007

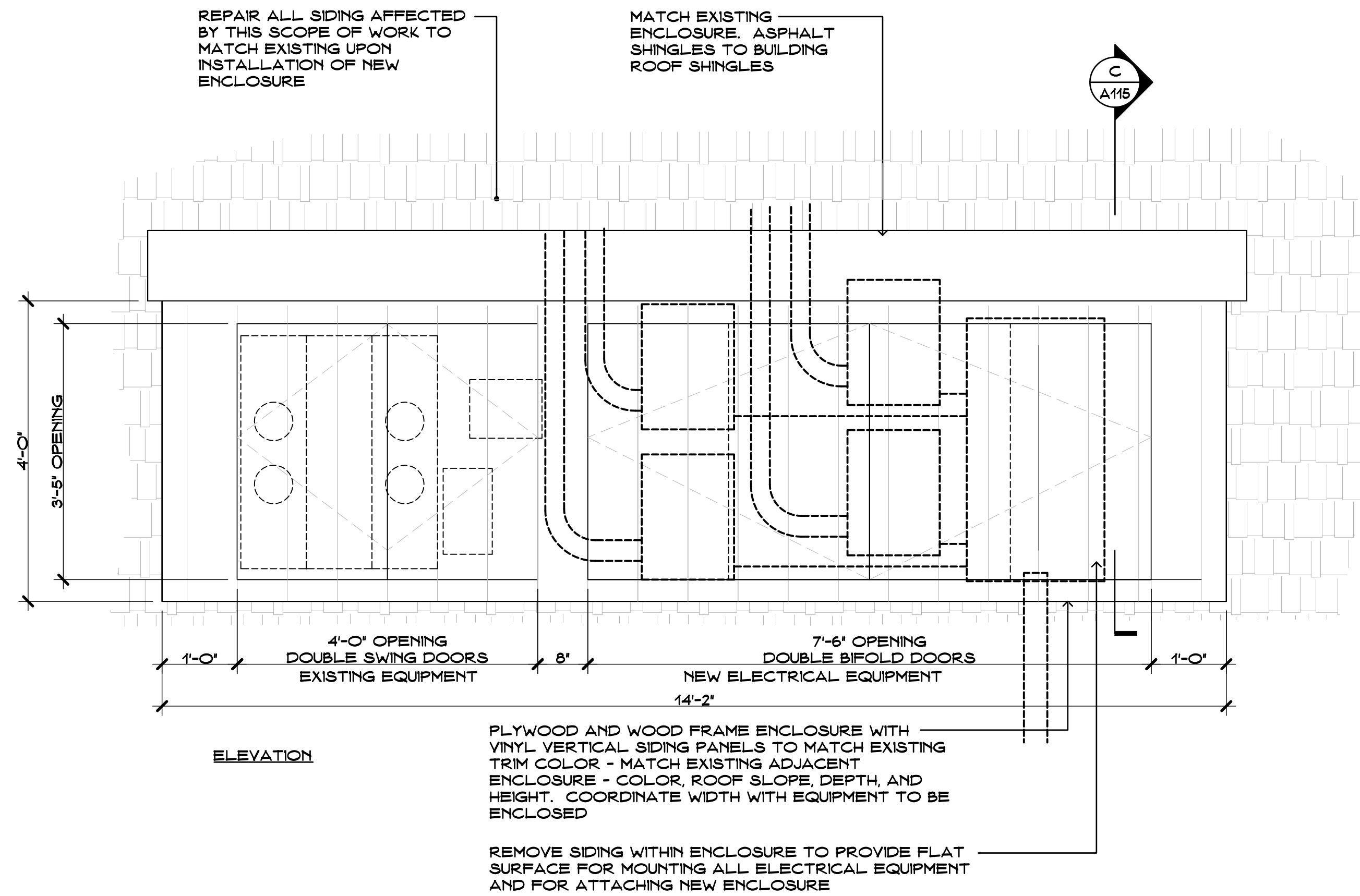
Drawing Number:

A114

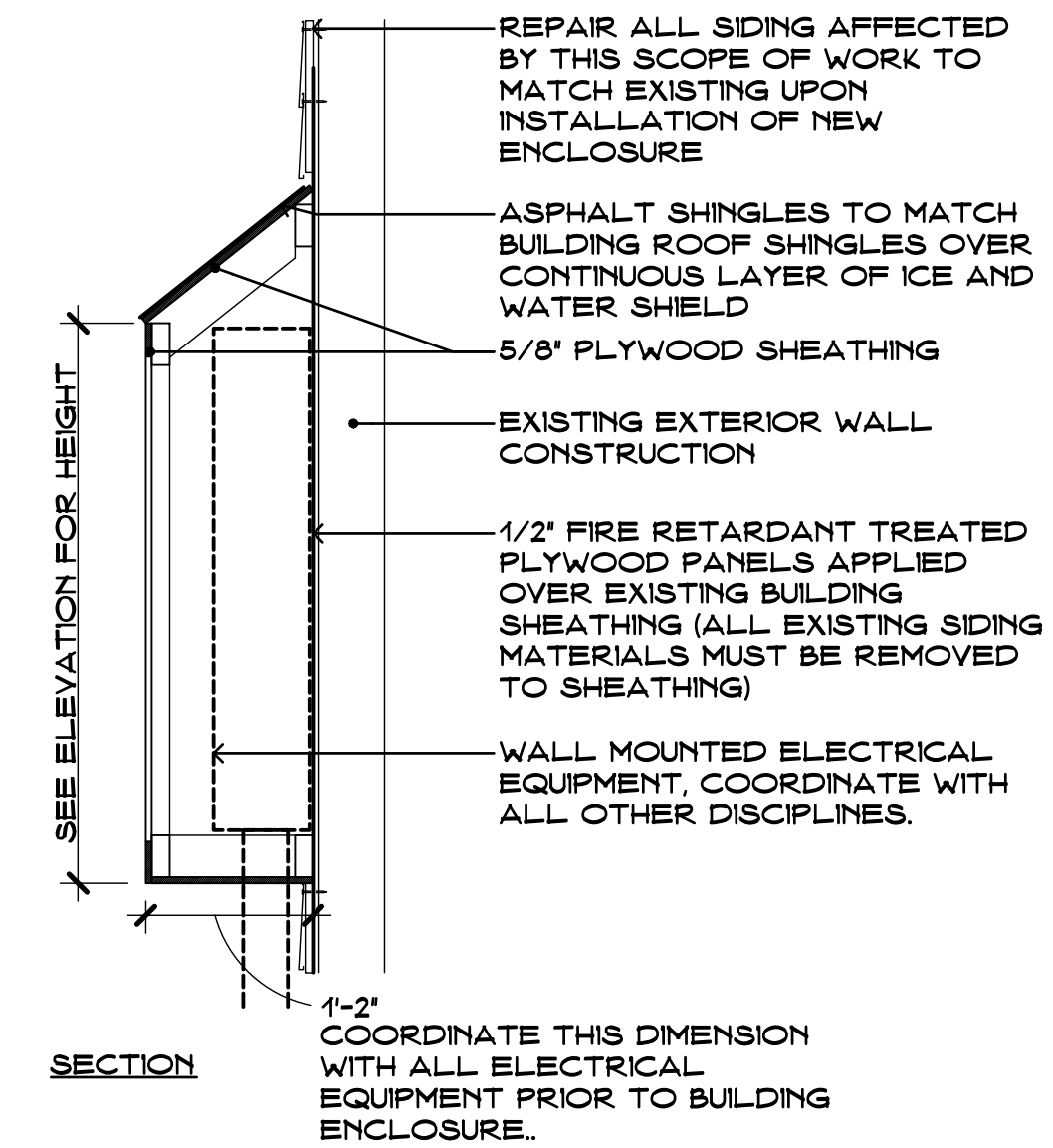




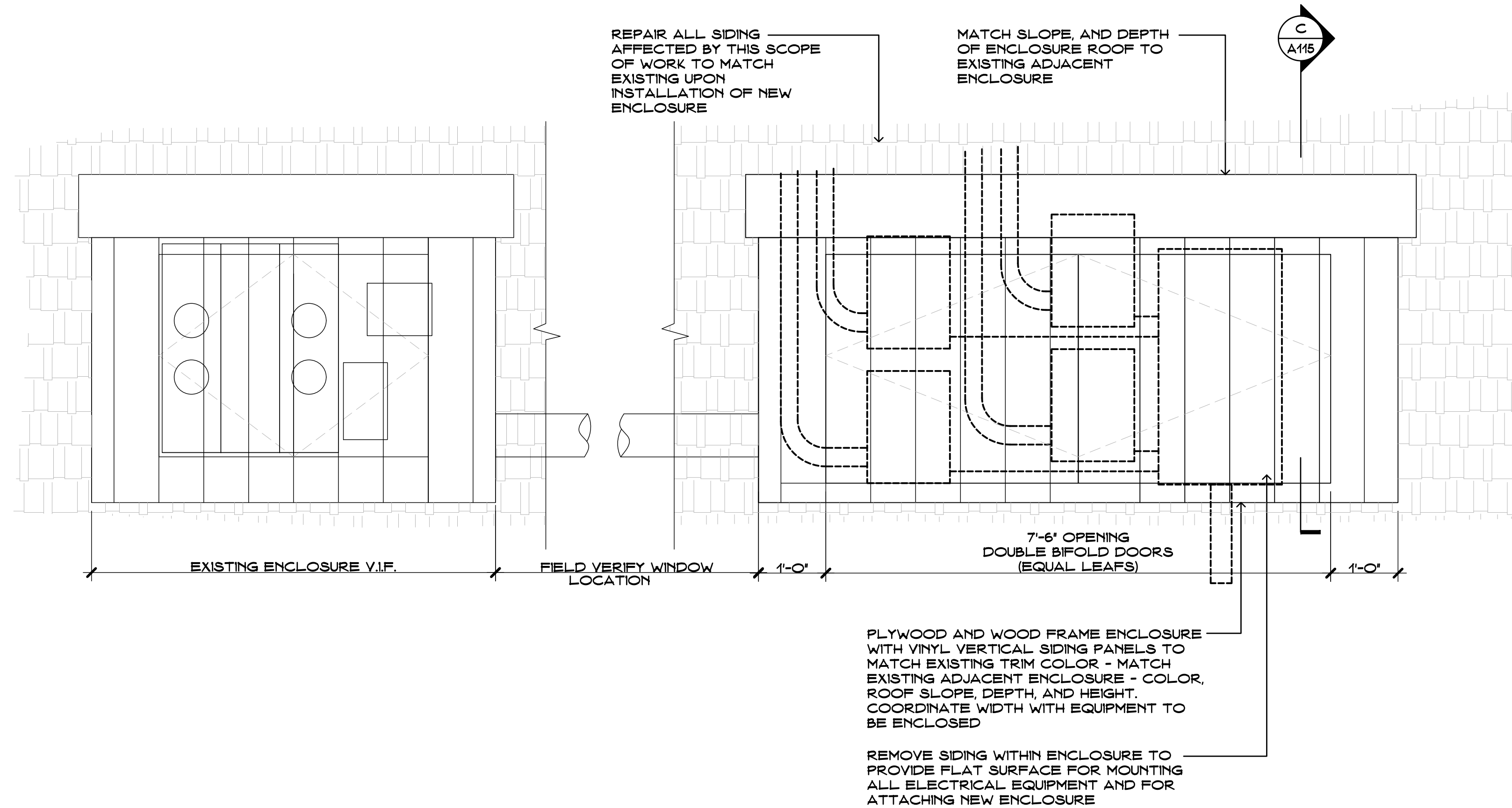
TYPICAL EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



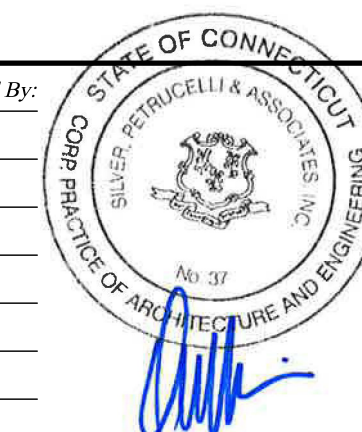
CONFIGURATION A  
ELECTRICAL PANEL/ATS ENCLOSURE  
(SINGLE ENCLOSURE)  
SCALE: 3/4" = 1'-0"



TYPICAL ENCLOSURE SECTION  
SCALE: 3/4" = 1'-0"



CONFIGURATION B  
ELECTRICAL PANEL/ATS ENCLOSURE  
(NEW AND EXISTING ENCLOSURE WITH CONNECTING CONDUIT)  
SCALE: 3/4" = 1'-0"





PLUMBING GENERAL NOTES			
<p><b>GENERAL</b></p> <p>THE INTENT OF THESE CONTRACT DOCUMENTS (SPECIFICATIONS AND DRAWINGS) IS FOR THE CONTRACTOR TO FURNISH AND INSTALL COMPLETE PLUMBING SYSTEMS. ALL SYSTEMS SHALL BE COMPLETE IN ALL RESPECTS, OPERATING, TESTED, ADJUSTED, APPROVED BY THE AUTHORITIES HAVING JURISDICTION AND READY FOR BENEFICIAL USE BY THE OWNER.</p> <p>WHEN A CONFLICT BETWEEN THE DRAWINGS, NOTES AND/OR SPECIFICATIONS OCCUR, THE MORE STRINGENT, AND OR LARGER QUANTITY AND/OR MORE EXTENSIVE SHALL APPLY. THE REQUIREMENTS LISTED WITHIN NOTES OR SPECIFICATIONS SHALL BE REQUIRED, PROVIDED AND INSTALLED WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT.</p> <p>ITEMS AND SERVICES NOT SHOWN ON DRAWINGS OR SPECIFICATIONS BUT REQUIRED TO RENDER THE WORK COMPLETE AND READY FOR OPERATION, SHALL BE PROVIDED WITHOUT ADDITIONAL COST.</p> <p>WORK OF THIS SECTION SHALL BE GOVERNED BY THE CONTRACT DOCUMENTS. PROVIDE MATERIALS, LABOR EQUIPMENT AND SERVICES NECESSARY TO FURNISH, DELIVER AND INSTALL ALL WORK AS SPECIFIED AND AS REQUIRED BY JOB CONDITIONS. WHERE A CONFLICT EXISTS BETWEEN THESE NOTES, THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.</p> <p>DRAWINGS ARE DIAGNOMATIC AND INDICATE A GENERAL ARRANGEMENT OF WORK AND ARE NOT TO BE CONSIDERED SUB-CONTRACTOR DOCUMENTS. IT IS THE INTENT OF THESE DOCUMENTS TO INCLUDE THE PROVISION AND INSTALLATION OF ALL NECESSARY WORK AND MATERIALS FOR COMPLETE, OPERATIONAL AND CODE COMPLIANT SYSTEMS BY THE CONTRACTOR. GENERAL DESIGN CONCEPTS INDICATED MUST BE FOLLOWED OR MATCHED. THE BID SHALL INCLUDE OFFSETS, ADDITIONAL PIPING, VALVES AND EQUIPMENT AND COMPONENTS AS REQUIRED TO MEET CONSTRUCTION CONDITIONS FOR PROPER OPERATION. DO NOT SCALE DRAWINGS. CONSULT ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SPACE CONDITIONS AND ADDITIONAL REQUIREMENTS.</p> <p>PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT GENERAL CONDITIONS AND WITH THE PROVISIONS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.</p> <p>WORK SHALL INCLUDE ALL INCIDENTALS, LABOR, MATERIAL, EQUIPMENT, APPLIANCES, SERVICES, HOISTING, SCAFFOLDING, SUPPORTS, TOOLS, CONSUMABLE ITEMS, FEES, LICENSES, AND ADMINISTRATIVE TASKS REQUIRED TO COMPLETE AND MAKE OBSERVABLE WORK SHOWN ON THE DRAWINGS, SPECIFIED HEREIN AND AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.</p> <p>ALL EQUIPMENT, MATERIALS AND RELATED SYSTEMS COMPONENTS SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>STORE MATERIALS INSIDE AND PROTECTED FROM DEBRIS, WEATHER AND MOISTURE.</p> <p>THIS CONTRACTOR SHALL COORDINATE ALL POWER AND CONTROL WIRING REQUIRED FOR EQUIPMENT OPERATION REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM WITH ELECTRICAL CONTRACTOR. THIS CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR INSTALLATION. COORDINATE REQUIREMENTS.</p> <p>PROVIDE AND INSTALL ALL MAKEUP WATER DISTRIBUTION TO HVAC EQUIPMENT INCLUDING BACKFLOW PREVENTER.</p> <p>PROVIDE AND INSTALL INDIRECT CONDENSATE WASTE PIPING AND TRAP TO FLOOR DRAIN OR DRAIN RECEPTOR FROM ALL HVAC EQUIPMENT. PROVIDE ADDITIONAL FLOOR DRAINS WITH TRAP PRIMERS OR DRAIN RECEPTORS AS REQUIRED.</p> <p>PLUMBING DEVICES, FAUCETS, VALVES AND FITTINGS REQUIRED FOR SPECIALTY SERVICE EQUIPMENT (IE KITCHEN, LAB, ETC) SHALL BE PROVIDED BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. THIS CONTRACTOR SHALL PROVIDE AND INSTALL PIPING CONNECTIONS, DEVICES, VALVES AND EQUIPMENT REQUIRED FOR PROPER OPERATION. COORDINATE REQUIREMENTS.</p> <p>KITCHENS, LABS AND SIMILAR SPECIALTY AREAS: ALL EXPOSED PIPING, STOPS, COCKS, AND WASTES WHICH ARE VISIBLE SHALL BE CHROME PLATED.</p> <p>REPAIR AND/OR REPLACE AT NO COST TO OWNER ALL EQUIPMENT AND MATERIALS DAMAGED DURING CONSTRUCTION.</p> <p><b>ALTERATION WORK AND DEMOLITION</b></p> <p>ALL EQUIPMENT, FIXTURES, PIPING, ETC. TO BE REMOVED, SHALL BE DISPOSED OF, TURNED OVER TO THE OWNER, OR SALVAGED AS DIRECTED BY THE OWNER. EQUIPMENT, FIXTURES, PIPING, DEVICES, ETC. SHALL NOT BE REMOVED FROM THE PREMISES WITHOUT THE OWNER'S APPROVAL.</p> <p>UPON COMPLETION OF REMOVALS AND MODIFICATIONS, ALL PIPING TO REMAIN, SHALL BE PROPERLY PLUGGED, VALVED, CARPED AND/OR BY PASSED SUCH THAT UPON COMPLETION OF WORK, ALL SYSTEMS TO REMAIN, REMAIN OPERATIONAL.</p> <p>NO DEAD ENDS SHALL BE LEFT ON ANY PIPING SYSTEMS UPON COMPLETION OF WORK.</p> <p>EXISTING EXPOSED PIPING SYSTEMS NOT TO BE REUSED, AND NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE COMPLETELY REMOVED.</p> <p>ALL SYSTEMS SHALL BE LEFT IN WORKING ORDER TO THE SATISFACTION OF THE OWNER UPON COMPLETION OF ALL NEW WORK.</p> <p>ALL EXISTING EXPOSED, UNNECESSARY PIPING RELATED TO NEW WORK SHALL BE COMPLETELY REMOVED.</p> <p>RE-ROUTE OR REMOVE ALL EXISTING PIPING AND SYSTEMS WHERE NECESSARY TO AVOID NEW EQUIPMENT, STRUCTURAL, OR MASONRY WORK AS REQUIRED BY THE PROPOSED ALTERATIONS.</p> <p><b>COORDINATION</b></p> <p>THE CONTRACTOR SHALL OBTAIN AND REVIEW ALL CONTRACT DOCUMENTS, INCLUDING PROJECT MANUAL, PLANS AND SPECIFICATIONS OF ALL TRADES BEFORE SUBMITTING BID. REFER TO SPECIFICATIONS, PROJECT MANUAL AND PLANS, INCLUDING ALL EQUIPMENT SCHEDULES FOR INFORMATION. CONTRACTOR SHALL WALK THROUGH BUILDING PRIOR TO SUBMITTING BID WHEN AVAILABLE.</p> <p>ALL OF THE CONTRACT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY TO FORM A TOTAL DESIGN PACKAGE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER TO DETERMINE WHICH TRADE CONTRACTOR IS RESPONSIBLE FOR VARIOUS PORTIONS OF THE WORK.</p> <p>ALL WORK AND ACTION DEPICTED AND DESCRIBED SHALL BE PERFORMED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>THE PLUMBING CONTRACTOR SHALL VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND SHALL COORDINATE WITH CIVIL ENGINEER LOCATIONS AND ELEVATIONS OF PLUMBING SERVICE LINES BEFORE PROCEEDING WITH CONSTRUCTION. THE UTILITY SERVICE LINES SHOWN ON THE DRAWINGS ARE FOR REFERENCE &amp; BUILDING PERMIT ONLY. REFER TO CIVIL ENGINEERS DRAWINGS FOR UTILITY SERVICE LINES LAY-OUT &amp; DETAILS.</p> <p>CONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL OWNER/FURNISHED EQUIPMENT, INCLUDING REQUIRED SERVICE CONNECTIONS, RECEPTANCES, ETC. BEFORE INSTALLATION.</p> <p>THE DRAWINGS ARE DIAGNOMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF EQUIPMENT WITH ALL TRADES BEFORE STARTING CONSTRUCTION. ANY MODIFICATIONS TO THE EQUIPMENT LAYOUT REQUIRED FOR INSTALLATION ARE TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. COORDINATE ALL PIPING AND CONDUITS LEAVING THE BUILDING WITH THE SITE CONTRACTOR BEFORE INSTALLATION.</p> <p>LOCATION AND SIZES OF ALL FLOOR, WALL, AND ROOF PENETRATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES INVOLVED.</p> <p>DEVELOP AND SUBMIT COORDINATION DRAWINGS AS OUTLINED.</p> <p>SHEET METAL, PLUMBING AND FIRE PROTECTION SHOP DRAWINGS THAT HAVE BEEN COORDINATED WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW. DRAWINGS MUST BE RETURNED FROM ENGINEER EITHER REVISED OR FLUSH/AS CORRECTED PRIOR TO BEING USED AS BASIS FOR COORDINATION DRAWINGS.</p> <p>AFTER SHEET METAL AND PIPING DRAWINGS HAVE BEEN REVISED PER ENGINEERS COMMENTS, REPRODUCIBLE COPIES SHALL BE SENT TO THE TRADES IN THE FOLLOWING SEQUENCE FOR THE INCLUSION OF THEIR WORK:</p> <p>-MECHANICAL SHEET METAL</p>	<p>-PLUMBING PIPING -MECHANICAL PIPING -SPRINKLER PIPING -ELECTRICAL WORK</p> <p>AFTER ALL TRADES HAVE INCLUDED THEIR WORK ON THE COORDINATION DRAWING AND NOTED CONFLICTS, ALL TRADES SHALL MEET TO RESOLVE CONFLICTS AND AGREE TO ACCEPTABLE SOLUTIONS. EACH TRADE SHALL SIGN COORDINATION DRAWINGS. ITEMS NOT SHOWN ON COORDINATION DRAWING IS RESPONSIBILITY OF OMITTING CONTRACTOR AND CONTRACTOR IS SUBJECT TO ADDITIONAL COSTS INCURRED BY OTHER TRADES.</p> <p>THE ARCHITECT AND ENGINEER ARE NOT PART OF THE COORDINATION DRAWING PROCESS. THE ENGINEER WILL PROVIDE ASSISTANCE FOR NOTED CONFLICTS ONLY. COORDINATION DRAWINGS ARE NOT TO BE CONSIDERED PIPING OR DUCT SHOP DRAWINGS. THE CONTRACTOR IS REQUIRED TO SUBMIT INDIVIDUAL PIPING AND DUCTWORK SHOP DRAWINGS FOR REVIEW BY THE ENGINEER. PIPING AND DUCTWORK SHOP DRAWINGS SHALL FOLLOW THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.</p> <p>SUBMIT FINAL SIGNED COORDINATION DRAWING TO ENGINEER FOR REVIEW. ENGINEER WILL REVIEW COORDINATION DRAWINGS FOR GENERAL ARRANGEMENT AND FOR NOTED CONFLICTS ONLY. SPECIFIC INSTALLATION REQUIREMENTS WILL BE REVISED ONLY IN NONVULNERABLE TRADES SHOP DRAWINGS.</p> <p>ANY WORK FABRICATED OR INSTALLED PRIOR TO SIGN OFF BY ALL TRADES WHICH IS DEEMED TO BE IN CONFLICT WITH COORDINATION DRAWINGS SHALL BE REMOVED AND RE-INSTALLED IN CONFORMANCE WITH COORDINATION DRAWINGS.</p> <p>EACH CONTRACTOR (MENTIONED ABOVE) IS RESPONSIBLE FOR THE COORDINATION OF HIS SUB-CONTRACTORS.</p> <p>THE OVERALL COORDINATION OF THE COORDINATION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER IS NOT RESPONSIBLE FOR THE COORDINATION PROCESS. THE ENGINEER WILL RESPOND TO QUESTIONS THAT ARISE FROM THE COORDINATION PROCESS. DRAWINGS SUBMITTED WILL BE REVIEWED FOR CLEARLY IDENTIFIED CONFLICTS ONLY. SOLUTIONS TO CONFLICTS WILL NOT BEAR ADDITIONAL COST.</p> <p><b>SHOP DRAWINGS</b></p> <p>CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO BE APPROVED, REVISED, OR RESUBMITTED AS PER THE ENGINEERS COMMENTS, PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:</p> <p>-PLUMBING FIXTURES -PIPING -FITTINGS -INSULATION -FLUERS</p> <p>-CLEAN OUTS -PIPE SEALS -BRAZING -EXPANSION TANKS -VALVES</p> <p>-DRAINS -COMPRESSORS -HANGERS/SUPPORTS -WATER HEATERS -THERMOSTATIC MIXING VALVES</p> <p><b>AS BUILT DRAWINGS</b></p> <p>PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS REFLECTING AS INSTALLED CONDITIONS. AS-BUILT DRAWINGS SHALL INDICATE ALL INSTALLED CONDITIONS OF SYSTEMS WITHIN THE DISCIPLINE. DRAWINGS SHALL BE OF SIMILAR SCALE AS THE CONSTRUCTION DOCUMENTS AND INCLUDE DETAILS AS NECESSARY TO CLEARLY REFLECT THE INSTALLED CONDITION. DRAWINGS SHALL BE BOUND IN A COMPLETE AND CONSISTENT SET. SUPPLEMENTAL SKETCHES AND LOOSE PAPERWORK WILL NOT BE ACCEPTABLE AND WILL BE RETURNED FOR REVISION. THE CONTRACTOR SHALL COMPLY WITH THE ENGINEERS COMMENTS TO PRODUCE A CLEAR AND CONCISE SET OF DRAWINGS. DRAWINGS SHALL BE SUBMITTED TO BOTH HARD COPY AND ELECTRONIC (AUTOCAD VERSION AS REQUIRED BY THE OWNER) VERSION. NUMBER OF COPIES OF EACH AS REQUESTED BY THE OWNER.</p> <p>PROVIDE AS-BUILT DRAWINGS INDICATING IN A NEAT AND ACCURATE MANNER A COMPLETE RECORD OF ALL REVISIONS OF THE ORIGINAL DESIGN OF THE WORK. INDICATE THE FOLLOWING INSTALLED CONDITIONS:</p> <p>INCLUDE ALL CHANGES AND AN ACCURATE RECORD, ON REPRODUCTIONS OF THE CONTRACT DRAWINGS OR APPROPRIATE SHOP DRAWINGS, OF ALL DEVIATIONS, BETWEEN THE WORK SHOWN AND WORK INSTALLED.</p> <p>MAINS AND BRANCHES OF PIPING SYSTEMS, WITH VALVES AND CONTROL DEVICES LOCATED AND NUMBERED, CONCEALED UNIONS LOCATED, AND WITH ITEMS REQUIRING MAINTENANCE LOCATED (IE, TRAPS, STRAINERS, EXPANSION COMPENSATORS, TANKS, ETC). VALVE LOCATION DIAGRAMS, COMPLETE WITH VALVE TAG CHART.</p> <p>EQUIPMENT LOCATIONS (EXPOSED AND CONCEALED), DIMENSIONED FROM PROMINENT BUILDING LINES.</p> <p>APPROVED SUBSTITUTIONS, CONTRACT MODIFICATIONS, AND ACTUAL EQUIPMENT AND MATERIALS INSTALLED.</p> <p>CONTRACT MODIFICATIONS, ACTUAL EQUIPMENT AND MATERIALS INSTALLED.</p> <p>SUBMIT FOR REVIEW BOUND SETS OF THE REQUIRED DRAWINGS, MANUALS AND OPERATING INSTRUCTIONS.</p> <p>SUBMIT A COMPLETE MAINTENANCE MANUAL OF ALL EQUIPMENT INSTALLED UNDER THIS CONTRACT.</p> <p><b>HOUSEKEEPING PADS</b></p> <p>PROVIDE CONCRETE HOUSEKEEPING PADS FOR FLOOR-MOUNTED EQUIPMENT. COORDINATE EXACT LOCATIONS, DIMENSIONS, PIPING LOCATIONS, AND ANCHOR BOLTS REQUIREMENTS. PROVIDE CONCRETE HOUSEKEEPING PADS UNDER ALL FLOOR MOUNTED EQUIPMENT. PADS SHALL BE CONSTRUCTED OF 3,000 PSI CONCRETE. PADS SHALL BE 4 INCHES HIGH, AND 4 INCHES WIDER THAN THE EQUIPMENT IN BOTH DIRECTIONS.</p> <p>COORDINATE FLOOR DRAIN LOCATIONS WITH RESPECT TO EQUIPMENT. HOUSEKEEPING PADS, PLACE DRAINS SUCH THAT EDGE OF THE FLOOR GRATE EXTENDS NO FURTHER THAN 2 INCHES FROM THE SIDE OF THE PAD.</p> <p><b>HANGERS AND SUPPORT</b></p> <p>SEISMIC RESTRAINT: PROVIDE SEISMIC RESTRAINT AND EXPANSION OF ALL PLUMBING EQUIPMENT AND SYSTEMS IN ACCORDANCE WITH STATE AND FEDERAL BUILDING CODE REQUIREMENTS. SUBMIT SHOP DRAWINGS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT INDICATING ALL NECESSARY COMPONENT, OUTLINE PLANS, CALCULATIONS AND CALCULATIONS FOR A COMPLETE SYSTEM.</p> <p>PROVIDE ALL NECESSARY STRUCTURAL MEMBERS INCLUDING ADDITIONAL STRUCTURAL SUPPORT TO SUPPORT PIPING AND EQUIPMENT. HANGERS AND SUPPORTS SHALL BE OF AN APPROVED DESIGN NECESSARY TO SUPPORT PIPING, EQUIPMENT AND TO KEEP PIPING IN PROPER ALIGNMENT AND PREVENT TRANSMISSION OF NOISIOUS THRUSTS AND VIBRATIONS. IN ALL CASES WHERE HANGERS, BRACKETS, ETC., ARE SUPPORTED FROM CONCRETE CONSTRUCTION, DO NOT WEAKEN CONCRETE OR PENETRATE WATERPROOFING. ALL HANGERS AND SUPPORTS SHALL BE CAPABLE OF SCREW ADJUSTMENT. AFTER PIPING IS ERECTED, HANGERS SUPPORTING PIPING EXPANDING INTO LOOPS, BENDS AND OFFSETS SHALL BE SECURED TO THE BUILDING STRUCTURE IN SUCH A MANNER THAT HORIZONTAL ADJUSTMENT PERPENDICULAR TO THE RUN OF PIPING SUPPORTED MAY BE MADE TO ACCOMMODATE DISPLACEMENT DUE TO EXPANSION. ALL SUCH HANGERS SHALL BE FINALLY ADJUSTED BOTH IN THE VERTICAL AND HORIZONTAL DIRECTION AS REQUIRED. HANGERS IN CONTACT WITH COPPER OR BRASS PIPE SHALL BE DIELECTRIC, COMPATIBLE WITH COPPER AND BRASS ALLOY OR PROVIDED WITH FELT SLEEVE.</p> <p>PROVIDE ADDITIONAL SUPPORT FOR PIPING AND EQUIPMENT WHEN DECK IS NOT CAPABLE OF SUPPORT.</p> <p>BEAM CLAMPS - HANGERS SUPPORTED FROM STEEL SHALL BE CENTER LOADING. BEAM CLAMPS FOR HANGERS SUPPORTING PIPING 2 INCHES FOR PIPING 2-1/2 INCHES AND LARGER. 1 BEAM CLAMP SHALL BE FORGED STEEL. C CLAMPS ARE NOT TO BE USED.</p> <p>PROVIDE AND INSTALL EXPANSION COMPENSATION FOR ALL PIPING. SUBMIT PLANS, CALCULATIONS AND EQUIPMENT DATA.</p> <p>BAND RON, IE WIRE, METAL STRAPPING OR WIRE STRAPPING SHALL NOT BE PERMITTED TO SUPPORT PIPING OR EQUIPMENT.</p> <p><b>PIPE SEALS</b></p> <p>SEAL ALL PIPING PASSING THROUGH ALL FIRE AND/OR SMOKE RATED PARTITIONS AND WALLS WITH A UL LISTED, APPROVED AND TESTED FIRE AND/OR SMOKE SEALING MATERIAL, INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.</p>	<p>ALL PIPING PENETRATING A SLAB ON GRADE OR FOUNDATION WALL BELOW GRADE AND IN CONTACT WITH EARTH SHALL BE PROVIDED WITH A POURED IN PLACE SCHEDULE 80 GALVANIZED STEEL WATER TIGHT SLEEVE WITH INTEGRAL WATER STOP AND SEAL, EQUAL TO LINK SEAL.</p> <p>FURNISH AND SET STEEL PIPE SLEEVES OF SCHEDULE 40 BLACK STEEL, FOR ALL LOCATIONS OF INTERIOR PARTITIONS, WALLS AND FLOORS PROVIDING AT LEAST 1/2" CLEARANCE BETWEEN PIPE INSULATION AND SLEEVE OR PIPE AND SLEEVE. WALL SLEEVES SHALL BE SHOOT-OUT AND SET FLUSH WITH FINISHED WALLS. FLOOR SLEEVES SHALL EXTEND 2" ABOVE THE FINISHED FLOOR.</p> <p>ALL PIPING THROUGH WALLS, FLOORS OR CEILINGS SHALL HAVE SLEEVES AND EIGHT COPIES. PROVIDE TWO PIECE CHROME EIGHT COPIES WHERE PIPING PASSES THROUGH WALLS OR FLOORS OF FINISHED SPACES.</p> <p><b>PLUMBING FIXTURES</b></p> <p>PLUMBING FIXTURES SHALL BE NEW, COMPLETE WITH TRIMMINGS AND FITTINGS, INCLUDING FAUCETS, CARBURET SUPPLIES, STOPS, TRAPS, MATHEDS, WASTE PLUGS, CABINETS, HANGERS, PLATES, BRACKETS, ANCHORS, SUPPORTS, HARDWARE AND FASTENING DEVICES. NOTE: ALL FIXTURES SHALL BE OF SAME MANUFACTURER. TRIMMINGS AND FITTINGS SHALL BE CONSTRUCT OF FORGED, CAST, ROLLED OR EXTRUDED BRASS OR BRONZE WITH MONEL, AND OTHER SUITABLE NON-CORROSIVE PARTS. DESIGNED WITH EASILY RENEVABLE PARTS THAT ARE SUBJECT TO WEAR OR DETRIORATION. NO DIE CASTINGS AND STAMPINGS OTHER THAN BRASS OR STAINLESS STEEL. PROVIDE PLUMBING FIXTURES AND TRIM WITH ALL NECESSARY TRIM, DEVICES AND ACCESSORIES REQUIRED FOR PROPER OPERATIONS SPECIFICALLY NOTED OR NOT.</p> <p>ESBOUCHONS SHALL BE ONE-PIECE CHROME PLATED CAST BRASS OR STAINLESS STEEL.</p> <p>P-TRAPS SHALL BE ONE PIECE CHROME PLATED CAST BRASS WITH CLEANOUT PLUG.</p> <p>EXAMINE ROUGH-IN WORK OF POTABLE WATER AND WASTE PIPING SYSTEMS TO VERIFY ACTUAL LOCATIONS OF PIPING CONNECTIONS PRIOR TO INSTALLING FIXTURES. CORRECT ANY INCORRECT LOCATION OF PIPING, AND UNSATISFACTORY CONDITIONS FOR INSTALLATION OF PLUMBING FIXTURES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN A MANNER ACCEPTABLE TO THE ENGINEER. ALL ROUGH-IN TO PLUMBING FIXTURES SHALL CONFORM TO FIXTURE MANUFACTURER PUBLISHED ROUGH-IN DIMENSIONS, AND REQUIREMENTS.</p> <p>UPON COMPLETION OF INSTALLATION OF PLUMBING FIXTURES AND AFTER UNITS ARE WATER PRESSURIZED, TEST FIXTURES TO DEMONSTRATE CAPABILITY AND COMPLIANCE WITH REQUIREMENTS. CORRECT MALFUNCTIONING UNITS AT SITE, THEN RETEST TO DEMONSTRATE COMPLIANCE, OTHERWISE REMOVE AND REPLACE WITH NEW UNITS AND PROCEED WITH RETESTING.</p> <p>CLEAN PLUMBING FIXTURES, TRIM, AND STRAINERS OF DIRT AND DEBRIS UPON COMPLETION OF INSTALLATION.</p> <p>ADJUST WATER PRESSURE AT DRINKING FOUNTAINS, FAUCETS, SHOWER VALVES, AND FLUSH VALVES TO PROVIDE PROPER FLOW STREAM AND SPECIFIED GPM.</p> <p>SET FIXTURES LEVEL, AND UNIFORMLY, WITH CONNECTIONS AT RIGHT ANGLES TO WALL AND PROPERLY CENTERED. LAY-OUT ROUGHING ACCURATELY AND IN COORDINATION WITH SPACE AND FINISH REQUIREMENTS.</p> <p>LOCATE WASTE OUTLETS AND WATER SUPPLIES AT CONSTANT HORIZONTAL LEVELS. WITH WASTE OUTLET CENTERED ON FUTURE DRAIN CONNECTION AND WATER SUPPLIES SPACED EQUALLY TO RIGHT AND LEFT.</p> <p>REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF EQUIPMENT. COLORS SHALL BE COORDINATED WITH THE ARCHITECT, CONTACT ARCHITECT FOR CLARIFICATION IF INFORMATION IS NOT CONTAINED IN THE DRAWINGS.</p> <p><b>DRAINS AND CLEANOUTS</b></p> <p>PROVIDE ALL POURED IN PLACE DRAINS AND CLEANOUTS WITH 24" X 24" FLASHING.</p> <p>PROVIDE A MANUFACTURED BRONZE OUTLET FITTING FOR ALL SECONDARY ROOF DRAIN OUTLETS.</p> <p>INSTALL EXTERIOR CLEANOUTS WITH A 18" SQUARE X 6" THICK CONCRETE APRON.</p> <p>COORDINATE FLOOR DRAIN LOCATIONS WITH RESPECT TO EQUIPMENT. HOUSEKEEPING PADS, PLACE DRAINS SUCH THAT EDGE OF THE FLOOR GRATE EXTENDS NO FURTHER THAN 2 INCHES FROM THE SIDE OF THE PAD. CLEANOUT PLUGS SHALL BE BRASS OR PLASTIC, OR OTHER APPROVED MATERIALS. BRASS CLEANOUT PLUGS SHALL BE UTILIZED WITH METALLIC DRAIN, WASTE AND VENT PIPING ONLY, AND SHALL CONFORM TO ASTM A 74, ASME A12.1 OR ASME B 36.21. CLEANOUTS WITH PLASTIC ACCESS COVERS SHALL BE FITTED WITH CORROSION-RESISTING FASTENERS. PLUGS SHALL HAVE RAISED SQUARE OR COUNTERSINK SQUARE HEADS. COUNTERSINK HEADS SHALL BE INSTALLED WHERE RAISED HEADS ARE A TRIP HAZARD. CLEANOUT PLUGS WITH CORROSIUATE GLASS SYSTEMS SHALL BE OF BOROSILICATE GLASS.</p> <p>PROVIDE TRAP PRIMERS FOR EACH FLOOR DRAIN. CONNECT TRAP PRIMER TO NEAREST COLD WATER MAIN, PROVIDE ISOLATION VALVE AND EXTEND TO FLOOR DRAIN AS REQUIRED.</p> <p>CLEANOUTS SHALL BE LOCATED AT MINIMUM INTERVALS OF 50 FEET FOR PIPING NPS 4 AND SMALLER AND 100 FEET FOR LARGER PIPING.</p> <p>BUILDING SEWERS SHALL BE PROVIDED WITH CLEANOUTS LOCATED NOT MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANOUT. FOR BUILDING SEWERS 8 INCHES AND LARGER, MANHOLES SHALL BE PROVIDED AND LOCATED NOT MORE THAN 200 FEET FROM THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER, AT EACH CHANGE IN DIRECTION AND AT INTERVALS OF NOT MORE THAN 400 FEET APART. MANHOLES AND MANHOLE COVERS SHALL BE OF AN APPROVED TYPE.</p> <p>CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE BUILDING DRAIN OR HORIZONTAL WASTE OR SOL LINES GREATER THAN 45 DEGREES (INCLUDING FITTINGS). WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A RUN OF PIPING, ONLY ONE CLEANOUT SHALL BE REQUIRED FOR EACH 40 FEET OF DEVELOPED LENGTH OF THE DRAINAGE PIPING.</p> <p>A CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH WASTE OR SOL STACK.</p> <p>THERE SHALL BE A CLEANOUT NEAR THE JUNCTION OF THE BUILDING DRAIN AND THE BUILDING SEWER. THE CLEANOUT SHALL BE EITHER INSIDE OR OUTSIDE THE BUILDING WALL AND SHALL BE BROUGHT UP TO THE FINISHED GROUND LEVEL OR TO THE BASEMENT FLOOR LEVEL. AN APPROVED TWO-WAY CLEANOUT IS ALLOWED TO BE USED AT THE LOCATION TO SERVE AS A REQUIRED CLEANOUT FOR BOTH THE BUILDING DRAIN AND BUILDING SEWER. THE CLEANOUT AT THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER SHALL NOT BE REQUIRED IF THE CLEANOUT ON A SUNCH OR LARGER DIAMETER SOL STACK IS LOCATED WITHIN A DEVELOPED LENGTH OF 10 FEET OF THE BUILDING DRAIN AND BUILDING SEWER CONNECTION.</p> <p>CONCEALED PIPING: CLEANOUTS ON CONCEALED PIPING OR PIPING UNDER A FLOOR SLAB OR IN A CRAWL SPACE OF LESS THAN 24 INCHES IN HEIGHT OR A PLENUM SHALL BE EXTENDED THROUGH AND TERMINATE FLUSH WITH THE FINISHED WALL, FLOOR OR GROUND SURFACE OR SHALL BE EXTENDED TO THE OUTSIDE OF THE BUILDING. CLEANOUT PLUGS SHALL NOT BE COVERED WITH CEMENT, PLASTER OR ANY OTHER PERMANENT FINISH MATERIAL. WHERE IT IS NECESSARY TO CONCEAL A CLEANOUT OR TO TERMINATE A CLEANOUT IN AN AREA SUBJECT TO VEHICULAR TRAFFIC, THE COVERING PLATE, ACCESS DOOR OR CLEANOUT SHALL BE OF AN APPROVED TYPE DESIGNED AND INSTALLED FOR THIS PURPOSE.</p> <p>MINIMUM SIZE: CLEANOUTS SHALL BE THE SAME NOMINAL SIZE AS THE PIPE THEY SERVE UP TO 4 INCHES. FOR PIPES LARGER THAN 4 INCHES NOMINAL SIZE, THE MINIMUM SIZE OF THE CLEANOUT SHALL BE 4 INCHES.</p> <p>CAST-IRON CLEANOUT SIZING SHALL BE IN ACCORDANCE WITH ASTM A 74 FOR HUB AND SPIGOT FITTINGS OR ASTM A 888 OR GSP 301 FOR HUBLESS FITTINGS.</p> <p>ACCESS SHALL BE PROVIDED TO ALL CLEANOUTS.</p> <p>PROVIDE CONDENSATE DRAINAGE, COMPLETE WITH CONDENSATE REMOVAL PUMP, FOR EACH COOLING COIL. CONDENSATE PUMP DISCHARGE SHALL BE CONNECTED VIA INDIRECT WASTE CONNECTION TO BUILDING SANITARY/WASTE PIPING SYSTEM. COORDINATE PUMP WORK WITH PROJECT ELECTRICIAN. IF GRAVITY DRAINAGE IS POSSIBLE WITH THE CONSTRAINTS OF PIPING PITCH, CONCEALEMENT, ABOVE CEILINGS, AND ONLY AFTER COMPLETE COORDINATION WITH STRUCTURE AND OTHER TRADES, THE CONTRACTOR MAY SUBMIT SKETCH PROPOSALS FOR GRAVITY ROUTING FOR REVIEW/APPROVAL.</p>	<p><b>MISCELLANEOUS SPECIALTIES</b></p> <p>ALL EQUIPMENT, VALVES, STRAINERS, UNIONS, TRAPS, FLANGES AND OTHER APPURTENANCES BEARING ACCESS SHALL BE LOCATED IN ACCESSIBLE LOCATIONS. WHEN A PIECE OF EQUIPMENT MUST BE LOCATED ABOVE AN INACCESSIBLE CEILING OR WALL, THEN THE APPROPRIATE ACCESS DOOR SHALL BE PROVIDED SUCH THAT THE EQUIPMENT IS NOT LIMITED TO CLEANOUTS. WATER HAMMER ARRESTORS AND VALVES, THESE SHALL BE COORDINATED WITH THE ARCHITECT. ACCESS DOORS SHALL BE RIGID CONSTRUCTION WITH TWO HINGES AND A LATCH. IN PLENUM CEILINGS, PROVIDE FELT BETWEEN THE DOOR AND FRAME TO PREVENT SEAL. ACCESS DOORS SHALL BE RATED TO THE SAME OR GREATER RATING OF THE PARTITION IN WHICH THEY ARE INSTALLED. ACCESS DOORS SHALL BE FLUSH MOUNTED, PRIME COATED WITH RUST INHIBITIVE PAINT, CONCEALED FRAME, FLUSH SCREW DRIVER OPERATED LOCKS WITH METAL GAYS AND ANCHORS AS REQUIRED.</p> <p>ACCESS DOOR SIZES SHALL BE 12" X 12" AT EASILY ACCESSIBLE ITEMS. 18" X 18" WHERE PARTIAL BODY ACCESS IS REQUIRED. 24" X 24" WHERE FULL BODY ACCESS IS REQUIRED.</p> <p>PROVIDE AND INSTALL DRIP PANS WITH WATER DETECTOR AND DRAIN FOR PIPING REQUIRED BY ACTUAL FIELD CONDITIONS WHERE PIPING PASSES OVER INCLUDING AREA WITHIN 5'-0" OF ELECTRICAL EQUIPMENT.</p> <p>DO NOT INSTALL AIR GAP BACKFLOW PREVENTERS IN CONCEALED SPACES OR IN AREAS WHERE SEPARATING WATER WILL DAMAGE FINISHES. PROVIDE AND INSTALL AN OVERSIZED COPPER FUNNEL, WITH AIR GAP DIRECTLY BELOW RPD PRESSURE RELIEF PORT. PIPE FUNNEL TO SPILL AS AN INDIRECT WASTE TO AN APPROVED DRAIN LOCATION.</p> <p>INSTALL ELECTRONIC TRAP PRIMERS SERVING ALL DRAINS. INSTALL ALL TRAP PRIMERS VALVES IN AN ACCESSIBLE AREA. INSTALL ALL TRAP ACCESS PANELS AND DOORS WHERE REQUIRED TO GAIN ACCESS IN CONCEALED CONSTRUCTION.</p> <p>PROVIDE FLEXIBLE CONNECTIONS IN ALL PIPING SYSTEMS CONNECTED TO PUMPS AND OTHER EQUIPMENT WHICH REQUIRES VIBRATION ISOLATION, EXCEPT WATER COILS. FLEXIBLE CONNECTIONS SHALL BE PROVIDED AS CLOSE TO THE EQUIPMENT AS POSSIBLE.</p> <p><b>PIPING GENERAL</b></p> <p>NO PIPING SHALL BE COVERED UNTIL TESTED, APPROVED BY THE AUTHORITIES HAVING JURISDICTION.</p> <p>ALL PIPING SHALL BE RUN PERPENDICULAR AND/OR PARALLEL TO FLOORS, INTERIOR WALLS, ETC. PIPING AND VALVES SHALL BE GROUPED NEATLY AND SHALL BE RUN AS TO MAXIMIZE HEADROOM OR PASSAGE CLEARANCE. ALL VALVES, CONTROLS AND ACCESSORIES CONCEALED IN FINISHED SPACES AND REQUIRING ACCESS FOR OPERATION AND MAINTENANCE SHALL BE ARRANGED TO ASSURE THE USE OF A MINIMUM NUMBER OF ACCESS DOORS.</p> <p>ALL PIPE LINES MADE WITH SCREWED FITTINGS MUST BE PROVIDED WITH A SUFFICIENT NUMBER OF FLANGES AND/OR UNIONS TO ALLOW FOR EASY AND CONVENIENT DISMANTLING OF THE SYSTEM WITHOUT BREAKING FITTINGS.</p> <p>ALL PIPING SHALL RUN CONCEALED IN FINISHED SPACES OF OCCUPIED AREAS OR CHASES. CONTRACTOR SHALL OBTAIN PERMISSION TO RUN ANY EXPOSED PIPES.</p> <p>CAP ALL PIPE AND EQUIPMENT OUTLETS DURING CONSTRUCTION AND KEEP LINES AND INSIDE OF EQUIPMENT FREE OF FOREIGN MATERIALS.</p> <p>EXPANSION WITHOUT WARPING OR DISLOCATING LINES OR STRAINING CONNECTED EQUIPMENT. INSTALL PIPING TO CLEAR BUILDING CONSTRUCTION AND TO AVOID INTERFERENCE WITH OTHER WORK. THE CONTRACTOR SHALL PROVIDE AND INSTALL COMPLETE PIPING EXPANSION SYSTEM (INCLUDING SEISMIC JOINT EXPANSION) AND DEVICES AS REQUIRED FOR PROPER EXPANSION COMPENSATION, STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.</p> <p>THE DRAWINGS INDICATE SCHEMATICALLY THE SIZE AND LOCATION OF PIPING. PIPING SHALL BE SET UP AND DOWN AND OFFSET AS REQUIRED TO MEET CONSTRUCTION CONDITIONS.</p> <p>THE CONTRACTOR SHALL INFORM HIMSELF FROM THE GENERAL CONSTRUCTION SPECIFICATIONS AND PLANS, OF THE EXACT DIMENSION OF FINISHED WORK AND OF THE HEIGHT OF FINISHED CEILINGS IN ALL ROOMS WHERE EQUIPMENT OR PIPES ARE TO BE PLACED AND ARRANGE HIS WORK IN ACCORDANCE WITH THE SCHEDULE OF INTERIOR FINISHES, AS INDICATED ON THE ARCHITECTURAL DRAWINGS.</p> <p>WATER PIPING SHALL BE RUN FREE OF TRAPS AND UNNECESSARY BENDS. ANY TRAPS FORMED SHALL BE PROVIDED WITH HOSE END DRAIN VALVES WITH 1/2" THREADED CAP AND CHAIN TO COMPLETELY DRAIN THE SYSTEM.</p> <p>PROVIDE SECTION OUT-OFF VALVES ON ALL MAINS AND BRANCHES. PITCH AND VALVE ALL WATER PIPING FOR CONVENIENT DRAINAGE.</p> <p>UNIONS AND/OR FLANGES SHALL BE INSTALLED AT EACH PIECE OF EQUIPMENT, IN BY-PASSES AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS.</p> <p>WHEREVER DISSIMILAR METALS ARE JOINED TOGETHER AN APPROVED DIELECTRIC FITTING SHALL BE USED. THE DIELECTRIC FITTING SHALL BE A LISTED ASSEMBLY.</p> <p>RUN ALL SOL, WASTE AND VENT PIPING SHOWN OR REQUIRED BY LOCAL CODES. PIPING SHOWN IS MINIMUM AND IN ACCORDANCE WITH STATE AND FEDERAL CODES. IF LOCAL CODES REQUIRE ADDITIONAL VENTING OR LARGER SIZES, PROVIDE AS REQUIRED.</p> <p>MAKE ALL CONNECTIONS THROUGH TRAPS. EACH TRAP TO BE VENTED, EITHER BY CIRCUIT, LOOP, OR INDIVIDUAL VENT, AS REQUIRED, BUT NOT LESS THAN SHOWN, OR AS REQUIRED BY LOCAL CODE.</p> <p>ALL UNDERGROUND PIPING SHALL BE Laid ON 6" SAND AND BACKFILLED WITH CLEAN FINE SAND COMPACTED TO 12" ABOVE PIPE. COMPLETE BACKFILL WITH AVAILABLE EARTH FREE OF LARGE BOULDERS AND SHARP ROCKS. TAMP BACKFILL IN 6" ELEVATIONS AND OVERFILL TO ALLOW FOR SETTLEMENT.</p> <p>SET AND PROPERLY CONNECT ALL FIXTURES WITH HOT AND COLD WATER, VENT AND DRAINAGE PIPING, AS REQUIRED AND PROTECT FIXTURES UNTIL ACCEPTANCE AND TEST. CLEAN ALL FLUSH VALVES AFTER TWO WEEKS OF OPERATION.</p> <p>INSTALL THRUST BLOCKS FOR UNDERGROUND WATER PIPING AT ALL CHANGES IN DIRECTION BOTH HORIZONTALLY AND VERTICALLY. THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH OR EARTH. THRUST BLOCKS SHALL BE INSTALLED IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) MANUAL, THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE AND LOCAL UTILITY COMPANY REQUIREMENTS.</p> <p>GAS PIPING</p> <p>INSTALL GAS PIPING, AND GAS PIPING SPECIALTIES IN ACCORDANCE WITH NFPA 54, NFPA 58, AND AUTHORITIES HAVING JURISDICTION.</p> <p>PROVIDE AND INSTALL INDEPENDENT GAS PRESSURE REGULATOR VENTS TO THE EXTERIOR AS REQUIRED IN NFPA 54/58 AND THE REGULATOR MANUFACTURERS REQUIREMENTS.</p> <p>LOCATE GAS PIPING WITH ADEQUATE SEPARATION BETWEEN ELECTRICAL, CABLES, EQUIPMENT, AND CONDUIT.</p> <p>SLOPE GAS PIPING TO LOW POINTS WITHOUT TRAPS. PROVIDE DRIPS (PIPE TEE, NIPPLE, AND CAP) AT BOTTOM OF ALL VERTICAL REBERS AND DROPS.</p> <p>MAKE BRANCH CONNECTIONS TO MAINS FROM TOP OR SIDE, NOT FROM BOTTOM OF MAIN.</p> <p>PROVIDE AND INSTALL GAS SHUT-OFF VALVES FOR THE PROPER AND SAFE CONTROL OF THE SYSTEM.</p> <p>DO NOT LOCATE GAS VALVES IN SPACES USED AS AIR PLenums.</p> <p>VERIFICATION: BEFORE MAKING A GAS CONNECTION, VERIFY THAT EQUIPMENT IS COMPATIBLE WITH THE TYPE AND PRESSURE OF GAS BEING SUPPLIED.</p> <p>PURGING: PURGE GAS TO SAFE LOCATION.</p>

PLUMBING DEMOLITION NOTES	
ALL EQUIPMENT, FIXTURES, PIPING, ETC. TO BE REMOVED SHALL BE DISPOSED OF, TURNED OVER TO THE OWNER, OR SALVAGED AS DIRECTED BY THE OWNER. EQUIPMENT, FIXTURES, PIPING, DEVICES, ETC. SHALL NOT BE REMOVED FROM THE PREMISES WITH OUT THE OWNERS APPROVAL.	
ALL ABANDONED PIPING TO REMAIN SHALL BE PROPERLY PLUGGED, VALVED, CARPED AND/OR BY PASSED SUCH THAT UPON COMPLETION OF WORK ALL ABANDONED SYSTEMS ARE PROPERLY CONCEALED, AND THAT EXISTING SYSTEMS TO REMAIN, REMAIN OPERATIONAL.	
NO DEAD ENDS SHALL BE LEFT ON ANY PIPING SYSTEMS UPON COMPLETION OF WORK.	
PATCH ALL WALLS, FLOORS, CEILINGS, AND ROOFS TO MATCH EXISTING IN ALL CASES WHERE EXISTING WALLS, FLOORS, CEILINGS, AND ROOFS REMAIN AND PLUMBING DEMOLITION IS INDICATED.	
EXISTING EXPOSED PIPING SYSTEMS NOT TO BE REUSED, AND NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE COMPLETELY REMOVED. CONTRACTOR SHALL VERIFY PRIOR TO REMOVAL.	
ALL SYSTEMS SHALL BE LEFT IN PERFECT WORKING ORDER UPON COMPLETION OF ALL NEW WORK.	
ALL EXISTING EXPOSED, UNNECESSARY PIPING RELATED TO NEW WORK SHALL BE COMPLETELY REMOVED.	
RE-ROUTE OR REMOVE ALL EXISTING PIPING AND SYSTEMS WHERE NECESSARY TO AVOID NEW EQUIPMENT, STRUCTURAL, OR MASONRY WORK AS REQUIRED BY THE PROPOSED ALTERATIONS.	
COORDINATE PLUMBING SERVICES SHUT DOWNS (HEOW, GAS, WASTE, VENT & STORY) SYSTEMS WITH THE BUILDINGS MANAGER AND UTILITY COMPANY.	
REMOVE ALL EXISTING DOMESTIC HOT & COLD WATER, SANITARY, WASTE & VENT DISTRIBUTION THROUGH OUT THE AREA OF RENOVATION, ABANDON EXISTING BELOW GRADE SANITARY DRAINAGE IN PLACE.	

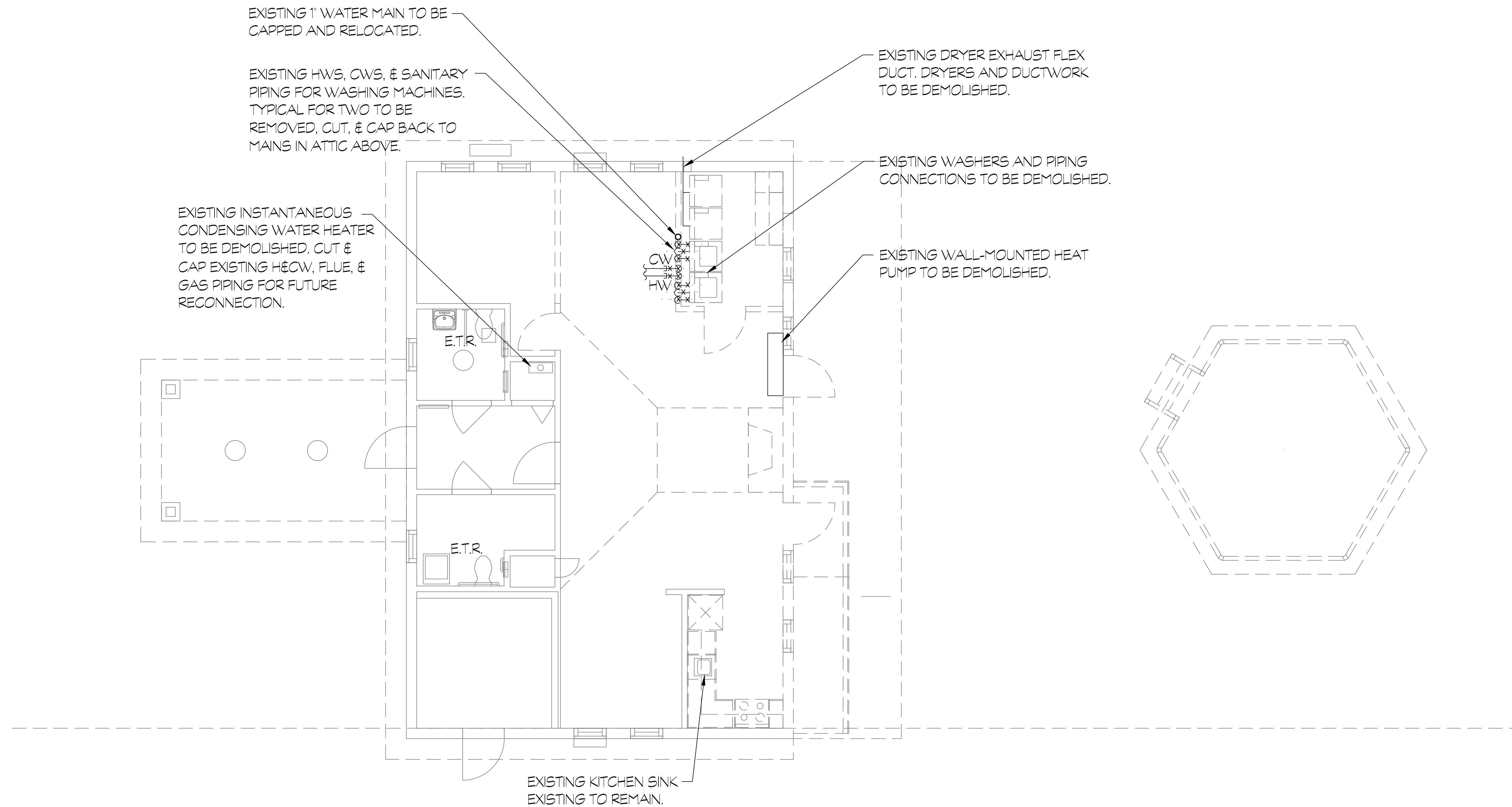
PLUMBING PIPING SYSTEM LEGEND		
EXISTING	NEW	DESCRIPTION
---	---	DOMESTIC COLD WATER
---	---	DOMESTIC HOT WATER SUPPLY
---	---	DOMESTIC HOT WATER RETURN
---	---	DOMESTIC HOT WATER RETURN
---	---	SANITARY WASTE
---	---	SANITARY WASTE BELOW SLAB
---	---	SANITARY VENT
---	---	NATURAL GAS
---	---	CONDENSATE DRAIN
---	---	INDIRECT WASTE
---	---	ACD WASTE
---	---	ACD WASTE BELOW SLAB
---	---	ACD VENT

PLUMBING SYMBOL LEGEND	
SYMBOL	DESCRIPTION
⌀	BALANCING VALVE
●	BALL VALVE
N	CHECK VALVE
f	GAS VALVE
⌋	PRESSURE RELIEF VALVE
⌋	THERMOSTATIC MIXING VALVE
⌋	GATE VALVE
+D	SUPPLY VALVE
⌋	REDUCED PRESSURE BACKFLOW PREVENTER
⌋	FLOOR CLEANOUT
⌋	FLOOR DRAIN
H 5/4	HOSE BIBB
⌋	POINT OF NEW CONNECTION
⌋	POINT OF DISCONNECTION
⌋	VENT THROUGH ROOF
⌋	RECIRCULATION PUMP
⌋	WATER HAMMER ARRESTOR
TP	TRAP PRIMER
30	3" TRAP
WH	WALL HYDRANT
→	PIPE DOWN
○	PIPE UP
→	CAPPED PIPE
→	CLEANOUT PLUG
+	UNION
→	DIRECTION OF FLOW
XXXX	PIPE OR EQUIPMENT TO BE DEMOLISHED
XXXX	PLUMBING FIXTURE
XXXXA	ADA COMPLIANT PLUMBING FIXTURE

PLUMBING DRAWING INDEX	
SHEET	DESCRIPTION
MPO01	GENERAL NOTES - MECHANICAL & PLUMBING
MPO00	DEMOLITION PLANS - MECHANICAL & PLUMBING
MPO00	COMMONITY BUILDING FLOOR PLAN - MECHANICAL & PLUMBING
MPO01	APARTMENT FLOOR PLANS - MECHANICAL & PLUMBING
MPO00	DETAILS & SCHEDULES - MECHANICAL & PLUMBING

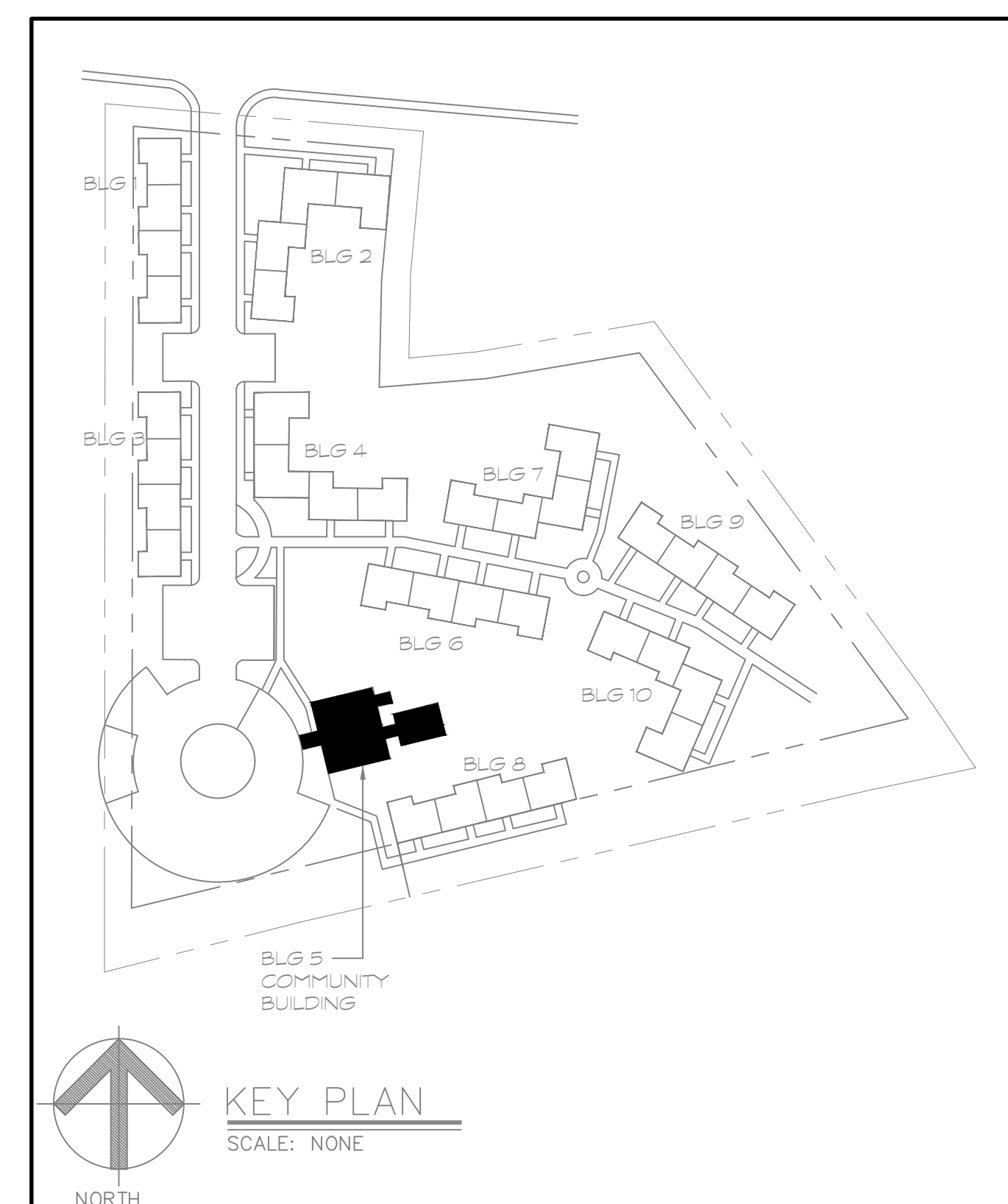






existing & Demo plumbing FLOOR PLAN  
SCALE: 1/4" = 1'-0"

1  
PD100



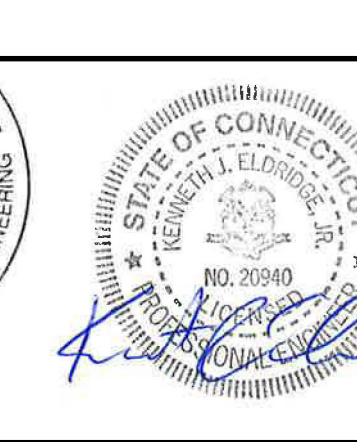
Project Title:

Essex Housing Authority  
**Renovations at Essex Court**  
16 Main Street  
Centerbrook, CT 06409



**SILVER / PETRUCCELLI + ASSOCIATES**  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

Revision:	Description:	Date:	Revised By:
	BID DOCUMENTS	9/16/2022	



Drawing Title:

**MECHANICAL / PLUMBING  
COMMUNITY BUILDING  
DEMOLITION FLOOR PLAN**

Date: SEPTEMBER 16, 2022

Scale: AS NOTED  
Drawn By: CB  
Project Number: 21.007  
Drawing Number: **MPD100**



## WORK NOTES

1

CONTRACTOR SHALL FURNISH AND INSTALL INSTANTANEOUS WATER HEATER, WH-1, IN LOCATION SHOWN. CONNECT WH-1 TO EXISTING CW, HW, HWR, GAS, AND FLUE PIPE. MOUNT WITH FACTORY HARDWARE AND SUPPORT IN ACCORDANCE WITH MANUFACTURER APPROVED METHOD.

2

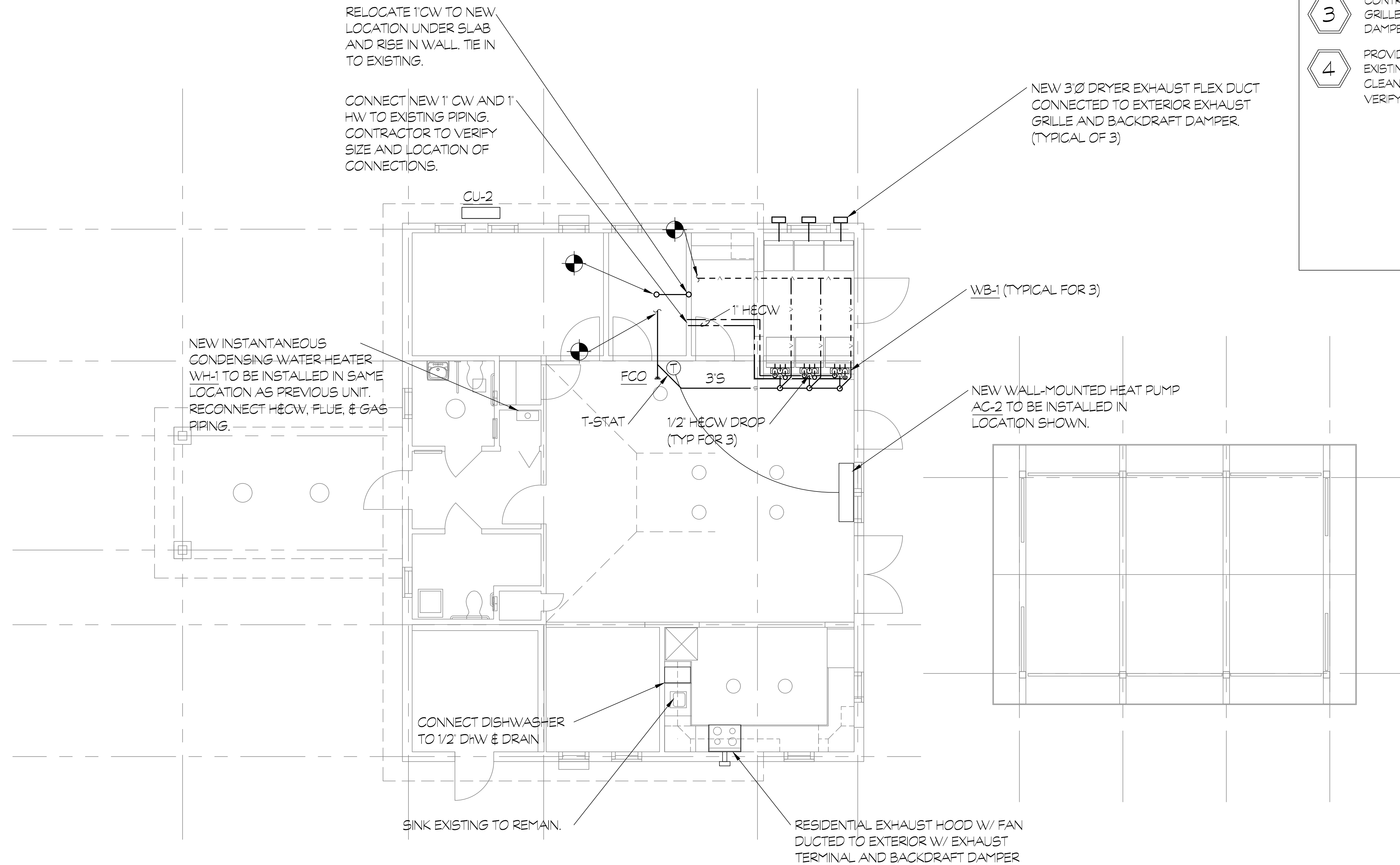
CONTRACTOR TO FURNISH AND INSTALL CW & HW PIPING TO THE RESPECTIVE WALL BOX FOR EACH WASHER. CW & HW PIPING WILL BE CONNECTED FROM POINT OF DEMOLITION TO THE POINT OF CONNECTION ON THE WALL BOX THEN FROM WALL BOX TO THE POINT OF CONNECTION ON THE WASHER. PIPING IS TO RUN OVERHEAD IN CEILING AND DROP DOWN TO CONNECT TO WALL BOX.

3

CONTRACTOR TO FURNISH AND INSTALL DRYER EXHAUST FLEX DUCT TO EXHAUST GRILLE MOUNTED ON EXTERIOR WALL FOR EACH DRYER. INCLUDE BACKDRAFT DAMPER.

4

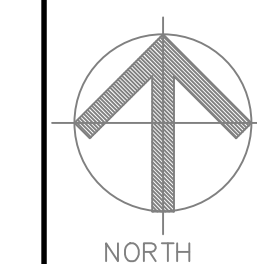
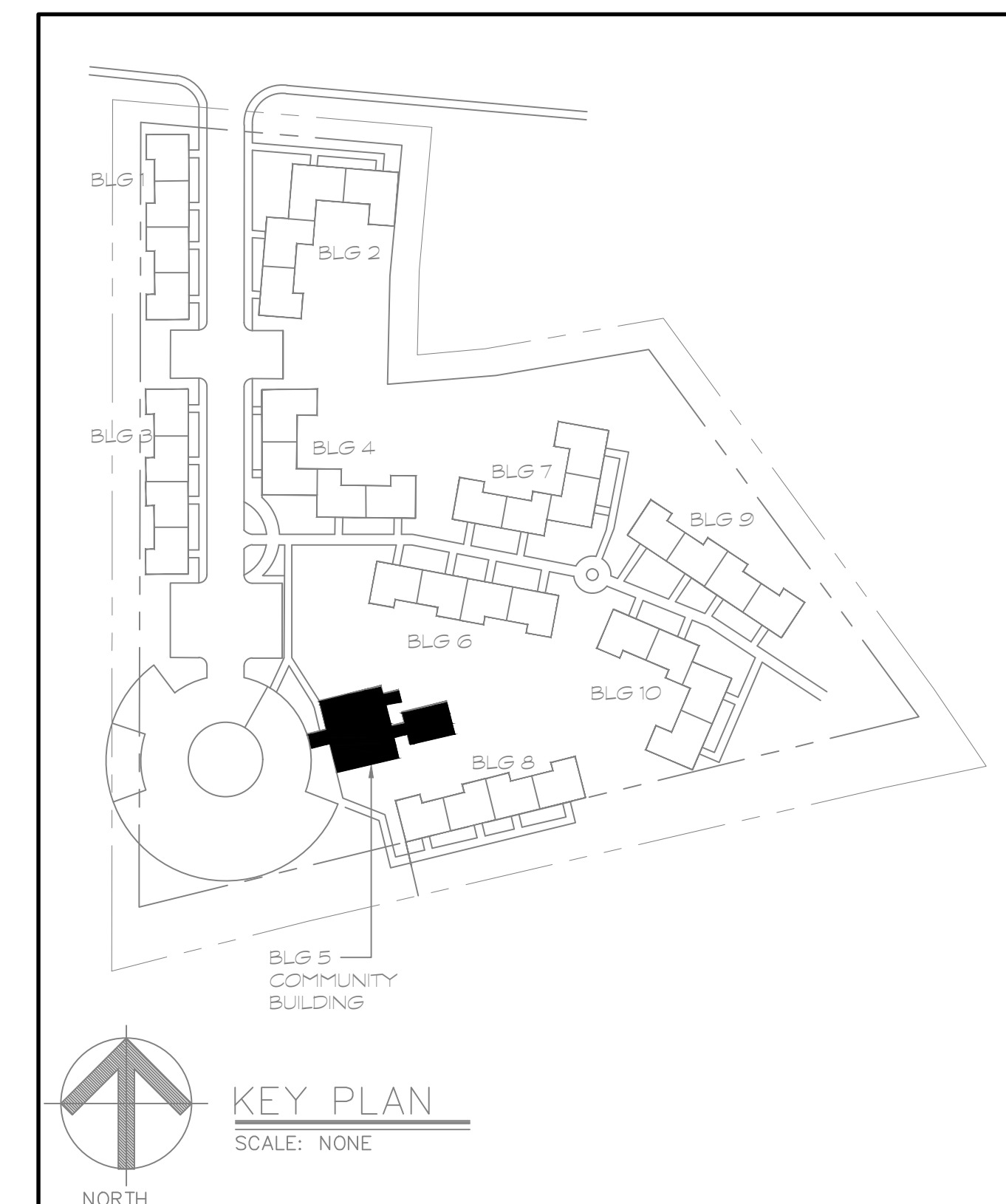
PROVIDE NEW 3" SANITARY PIPING UNDER SLAB ROUTED FROM NEW WASHERS TO EXISTING SANITARY LINE AT PREVIOUS WASHER LOCATION. PROVIDE UNDER FLOOR CLEANOUT AT CHANGE OF DIRECTION. SAW CUT & TRENCH SLAB, PATCH & REPAIR. VERIFY EXISTING ROUTING & LOCATIONS.



### NEW COMMUNITY CENTER MECHANICAL/PLUMBING PLAN

SCALE: 1/4" = 1'-0"

1  
MP100



KEY PLAN  
SCALE: NONE

Project Title:

Essex Housing Authority

## Renovations at Essex Court

16 Main Street  
Centerbrook, CT 06409



SILVER / PETRUCCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340

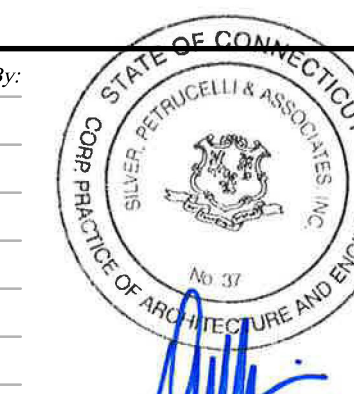
One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

silverpetrucelli.com

Revision: Description: Date: Revised By:

BID DOCUMENTS 9/16/2022



Drawing Title:

NEW MECHANICAL / PLUMBING  
COMMUNITY BUILDING FLOOR  
PLAN

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

CB

Project Number:

21.007

Drawing Number:

MP100



WORK NOTES

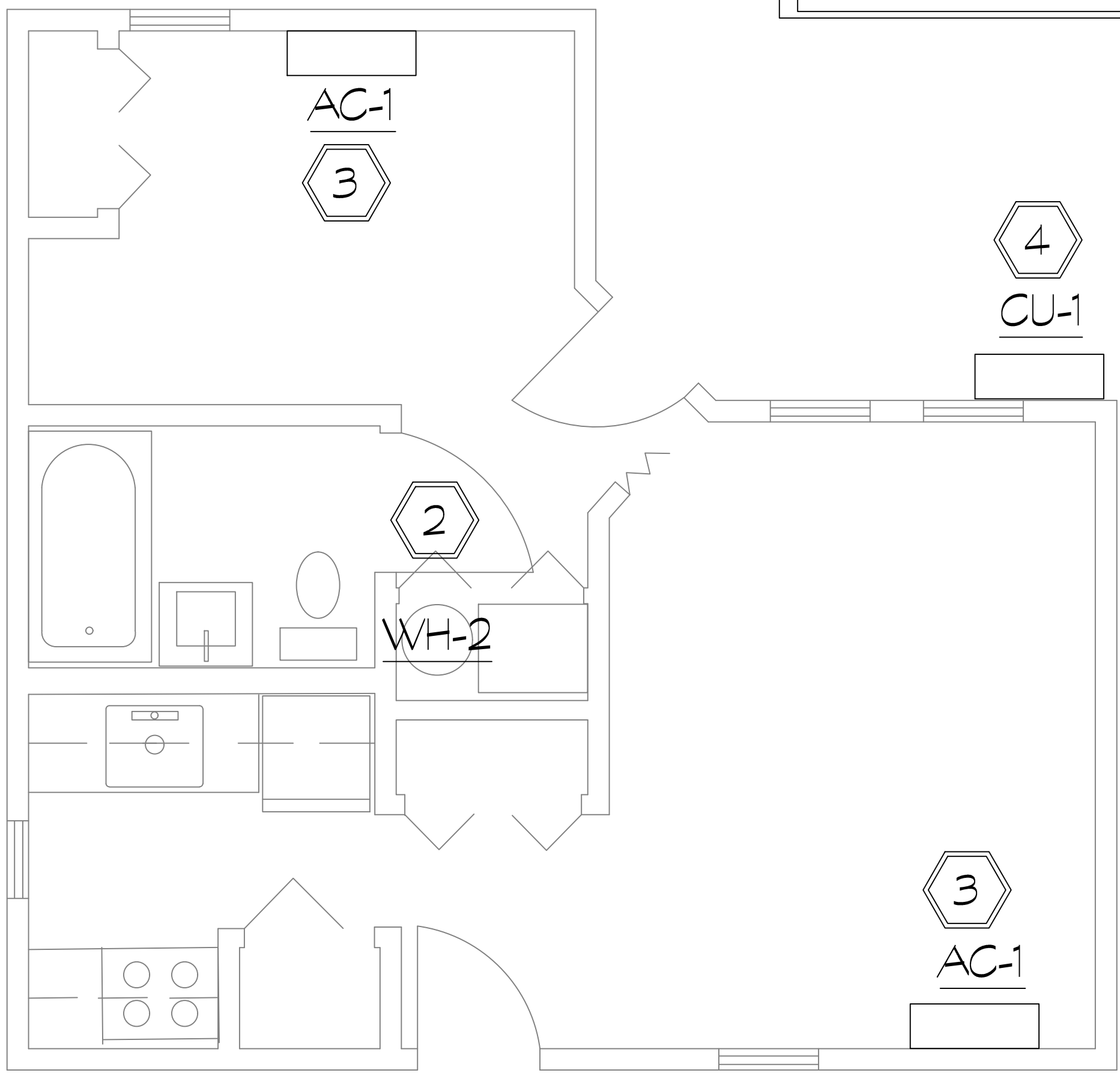
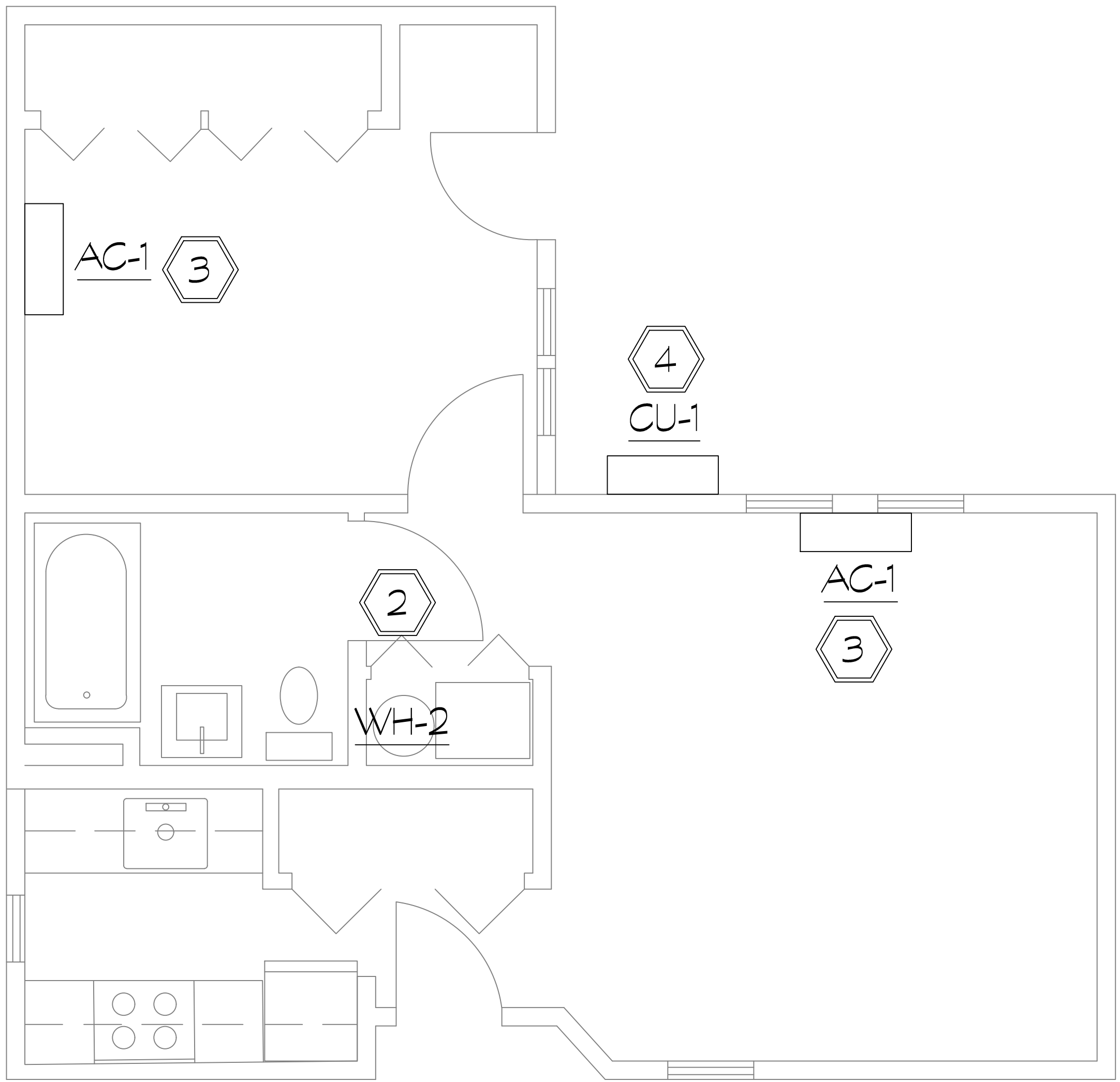
- 1

PROJECT SCOPE OF WORK INCLUDES THIRTY-SIX (36) APARTMENTS. THE TWO (2) FLOOR PLANS SHOWN ARE TYPICAL FLOOR PLANS THAT MAKE-UP THE (36) DIFFERENT APARTMENTS. LOCATIONS OF EQUIPMENT MAY DIFFER BETWEEN APARTMENTS AND CONTRACTOR MUST VERIFY LOCATIONS AND INSTALL NEW EQUIPMENT IN SAME LOCATIONS.
- 2

EXISTING ELECTRIC WATER HEATER TO BE DEMOLISHED AND REPLACED ONE FOR ONE. H&CW CONNECTIONS TO BE CUT & CAPPED FOR FUTURE RECONNECTION. NEW 4.5KW ELECTRIC WATER HEATER WH-2 TO BE INSTALLED IN SAME LOCATION AS PREVIOUS UNIT AND H&CW PIPING TO BE RECONNECTED.
- 3

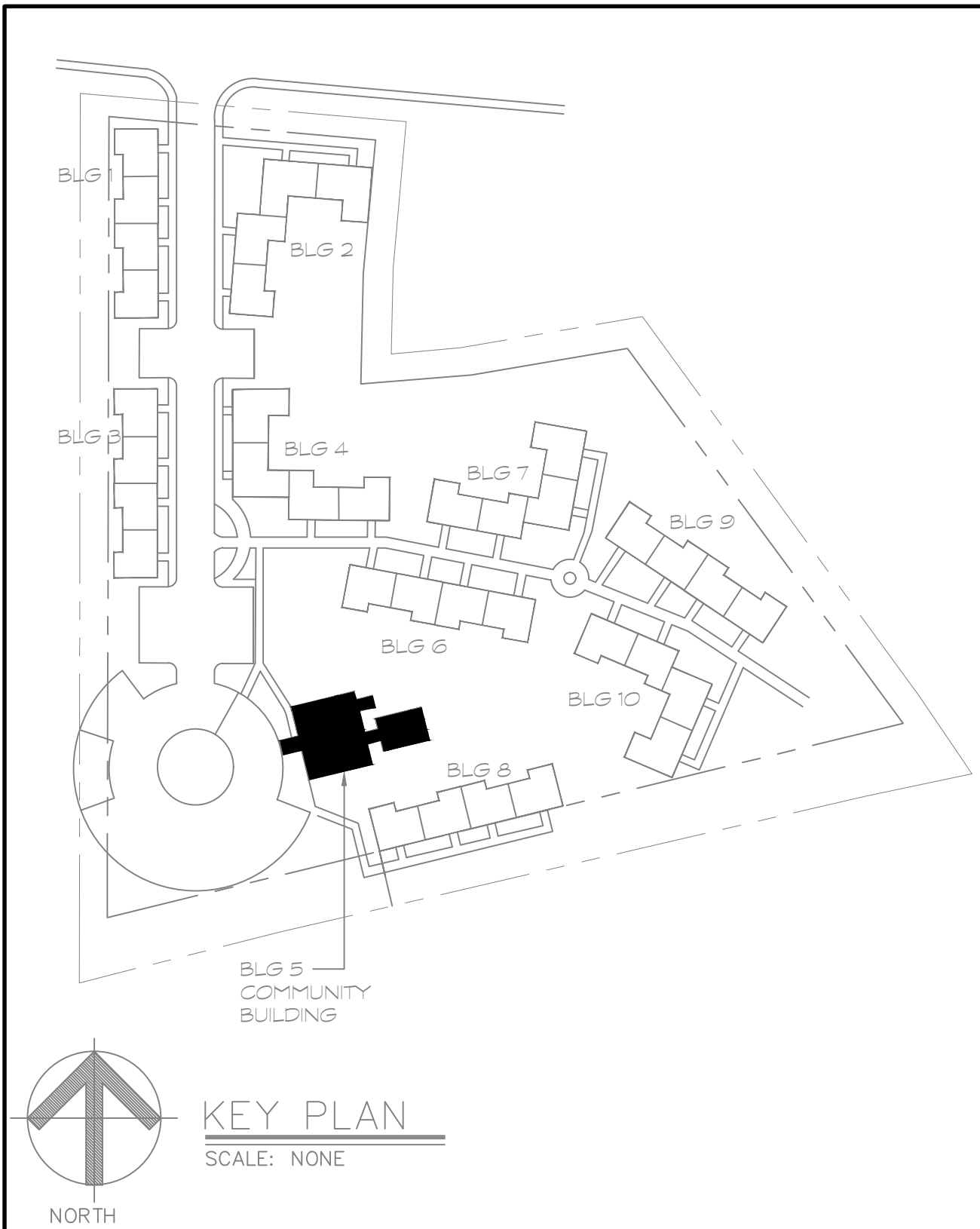
EXISTING HEAT PUMP(S) TO BE DEMOLISHED AND REPLACED ONE FOR ONE. REFRIGERANT PIPING TO BE DISCONNECTED, CUT, & CAPPED FOR FUTURE RECONNECTION. NEW HP-1 TO BE INSTALLED IN SAME LOCATION AS PREVIOUS UNIT AND REFRIGERANT PIPING TO BE RECONNECTED. CONTRACTOR TO VERIFY EQUIPMENT LOCATIONS PER APARTMENT UNIT.
- 4

EXISTING OUTDOOR CONDENSING UNITS TO BE DEMOLISHED AND REPLACED ONE FOR ONE. REFRIGERANT PIPING TO BE DISCONNECTED, CUT, & CAPPED FOR FUTURE RECONNECTION. NEW CU-1 TO BE INSTALLED IN SAME LOCATION AS PREVIOUS UNIT AND REFRIGERANT PIPING TO BE RECONNECTED. CONTRACTOR TO VERIFY EQUIPMENT LOCATIONS PER APARTMENT UNIT.



TYPICAL MECHANICAL/PLUMBING FLOOR PLAN  
SCALE: N.T.S.

2  
MP100





PIPE AND FITTING SCHEDULE						
DESCRIPTION	SIZE	PIPE		FITTING		REMARKS
		TYPE	SCHEDULE	TYPE	RATING	
SOIL, WASTE AND VENT ABOVE GROUND	ALL	CINH	SV	CI	SV	4 BAND FOR 4" AND SMALLER 6 BAND FOR LARGER THEN 4"
SOIL, WASTE AND VENT BELOW GROUND	ALL	CHES	SV	CI	SV	--
STORM ABOVE GROUND	ALL	CINH	SV	CI	SV	4 BAND FOR 4" AND SMALLER 6 BAND FOR LARGER THEN 4"
STORM BELOW GROUND	ALL	CHES	SV	CI	SV	--
DOMESTIC COLD WATER WITHN BUILDING	ALL	COPPER	TYPE L	CUS	STD	HARD TEMPERED
DOMESTIC HOT WATER WITHN BUILDING	ALL	COPPER	TYPE L	CUS	STD	HARD TEMPERED
DOMESTIC HOT WATER REGCULATION WITHN BUILDING	ALL	COPPER	TYPE L	CUS	STD	HARD TEMPERED
INDIRECT WASTE AND CONDENSATE PPING	ALL	COPPER	TYPE L	CUS	STD	HARD TEMPERED
DOMESTIC WATER SERVICE PPING	2 1/2" AND SMALLER	COPPER	TYPE K	CUS	STD	SOFT TEMPERED, NO JOINTS BELOW SLAB
DOMESTIC WATER SERVICE PPING	3" AND LARGER	CDI	CLASS 52	DMJ	250	--
TRAP PRIMER PPING	ALL	PEX	--	--	--	NO JOINTS ALLOWED BELOW SLAB
GAS PPING	2" AND SMALLER	STL-BLK	SCH. 40	MT	CLASS 150	--
GAS PPING	2 1/2" AND LARGER	STL-BLK	SCH. 40	WE	SCH. 40	--
NOTES: 1. TRANSITION COUPLINGS AND NO-HUB PIPE SHALL NOT BE INSTALLED BELOW SLAB OR IN ANY BURIED CONDITIONS IN CONTACT WITH EARTH. 2. ALL PIPING IN RETURN AIR CEILING PLENUM INSTALLATIONS SHALL BE UL LISTED FOR THIS APPLICATION. 3. MECHANICAL JOINTS ARE ALLOWED FOR SERVICE PURPOSES ONLY IN WALLS AND CEILING BUT MUST BE READILY ACCESSIBLE. 25-50 PVDF IS UL LISTED FOR RETURN AIR CEILING PLENUM INSTALLATIONS.						
ABBREVIATIONS	DESCRIPTION			ABBREVIATIONS	DESCRIPTION	
AWWA	AMERICAN WATER WORKS ASSOCIATION			MT	MALLEABLE IRON THREADED	
CI	CAST IRON			NH	NO HUB W/SUPER DUTY HUSKY SD 4000 CLAMP	
CPVC	CHLORNATED POLYVINYL CHLORIDE			PEX	PEX PPING	
CUS	WROUGHT COPPER SOLDER (95.5)			PF	PRESSURE FITTING	
HES	HUB AND SPOUT			SV	SERVICE WEIGHT	
MJ	MECHANICAL JOINT			POLY-PRO	POLYPROPYLENE PPING	
TJ	THREADED JOINTS			STD	STANDARD	
WE	BUT WELD			STL-BLK	BLACK STEEL	

INSULATION SCHEDULE					
SYSTEM	PIPE SIZE	INSULATION TYPE	INSULATION THICKNESS	FITTINGS, VALVES, FLANGES INSULATION TYPE	REMARKS
DOMESTIC COLD WATER	ALL	MINERAL FIBER ASJ, SSL	1"	MOLDED, PRE-FORMED MINERAL FIBER WITH PVC JACKET	TYPE 1
DOMESTIC HOT WATER	ALL	MINERAL FIBER ASJ, SSL	1"	MOLDED, PRE-FORMED MINERAL FIBER WITH PVC JACKET	TYPE 1
DOMESTIC WATER UNDERGROUND & NGLAB	ALL	CLOSED CELL	1"	ARMARFLEX	--
CONDENSATE	ALL	MINERAL FIBER ASJ, SSL	1/2"	MOLDED, PRE-FORMED MINERAL FIBER WITH PVC JACKET	TYPE 1
NOTES: 1. FIBERGLASS INSULATION THERMAL CONDUCTIVITY .22 TO .26BTU x IN/H x FT x F W/ 100°F MEAN TEMP. THICKNESS BASED ON ASHRAE 90.1, 1999 6.2.4.5. 2. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.					

VALVE SCHEDULE									
DESCRIPTION	SIZE	TYPE						CLASS	REMARKS
		GATE	GLOBE	CHECK	BALL	PLUG	BALANCE		
DOMESTIC COLD WATER	3" AND SMALLER	GVT	GLVT	CVT	BVT	--	--	125PSI	--
DOMESTIC HOT WATER	3" AND SMALLER	GVT	GLVT	CVT	BVT	--	CBV	125PSI	--
GAS	2" AND SMALLER	--	--	--	--	PGVT	--	125PSI	--
GAS	2 1/2" AND LARGER	--	--	--	--	PGVF	--	125PSI	--
NOTES: 1. SOLENOID VALVE: UL LISTED, FM APPROVED FOR GAS SERVICE, EXPLOSION PROOF, TWO-WAY NORMALLY CLOSED, ASCO 8044 SERIES W/MANUAL RESET, (EMERGENCY GAS SHUT-OFF VALVE ASSEMBLY). 2. CALIBRATED PRESSURE RELIEF VALVE: INSTALL A MINIMUM OF 12" ABOVE WATER HEATER AND PIPE DISCHARGE TO ADEQUATE LOCATION, WATTS MODEL 540C.									
ABBREVIATION	DESCRIPTION			ABBREVIATION	DESCRIPTION				
BVF	BALL VALVE FLANGED - FULL PORT, BRONZE			CVT	CHECK VALVE THREADED - BRONZE				
BVT	BALL VALVE THREADED - 2-PIECE, FULL PORT, 400PSI, BRONZE			GVF	GATE VALVE FLANGED - 11MB				
CBV	CALIBRATED BALANCING VALVE - BRONZE			GVT	GATE VALVE THREADED - BRONZE				
CPRV	CALIBRATED PRESSURE RELIEF VALVE								

CLEANOUT SCHEDULE			
MARK	FIXTURE, MODEL, NUMBER AND DESCRIPTION	TRAP SIZE	REMARKS
FCO	FLOOR CLEANOUT (ALL INTERIOR AREAS EXCEPT CARPETED AREAS). WATTS CO-200-RC-6, ADJUSTABLE ROUND SCORATED HEAVY DUTY NICKEL BRONZE SECURED TOP WITH FRAME, CAST IRON BODY, FLASHING FLANGE AND CLAMP, BRONZE PLUG. PROVIDE WITH VANDAL PROOF SCREWS. PROVIDE NICKEL BRONZE FRAME IN WET AREAS.	AS NOTED ON DWG.	--
FCO	FLOOR CLEANOUT (CARPETED AREAS). WATTS CO-200-RC-6, ADJUSTABLE ROUND SCORATED HEAVY DUTY NICKEL BRONZE SECURED TOP WITH FRAME, CARPET MARKER, CAST IRON BODY, FLASHING FLANGE AND CLAMP, BRONZE PLUG. PROVIDE WITH VANDAL PROOF SCREWS.	AS NOTED ON DWG.	--
WCO	WALL PLATE CLEANOUT COVER, WATTS CO-590-RD, PROVIDE AT CAST IRON CLEANOUTS WITH COUNTERSUNK BRASS PLUG AND STAINLESS STEEL COVER SECURED WITH VANDAL PROOF SCREWS.	--	--
NOTES: 1. TRANSITION COUPLINGS AND NO-HUB PIPE SHALL NOT BE INSTALLED BELOW SLAB OR IN ANY BURIED CONDITIONS IN CONTACT WITH EARTH. 2. PROVIDE ALL POURED IN PLACE CLEANOUTS WITH 24X24" FLASHING.			

PLUMBING FIXTURE/EQUIPMENT SCHEDULE					
MARK	FIXTURE, MODEL, NUMBER AND DESCRIPTION	ROUGH-IN			
		WASTE/ SANITARY	VENT	GW	HW
WB-1	WASHING MACHINE OUTLET BOX, DATLEY METAL, 1/4" TURN, COPPER, 2" NPT TAILPIECE	2"	--	1/2"	1/2"
S-1	SINGLE BOWL SINK, ADA COMPLIANT, ELKAY LRA0239365, 19 1/2" x 19" x 6 1/2" OVERALL (BOWL: 16" x 13 1/2" x 6-3/8"), 1/8" GAUGE TYPE 304 STAINLESS STEEL, SELF-DRYING, 3-HOLE FAUCET, AMERICAN STANDARD, MONTEREY SINGLE CONTROL, KITCHEN FAUCET, BRASS GOOSENECK SPOUT WITH 6" REACH WITH SPRAY (LEAD FREE), 15 GPM, PROVIDE 1/2" CHROME PLATED CAST BRASS P-TRAP, SUPPLIES, BRASS ANGLE STOPS WITH LOOSE KEY OPERATION, GRD DRAIN, ELKAY 3/4" DRAIN FITTING, STAINLESS STEEL BODY STRAINER BASKET AND OFFSET TAILPIECE, MODEL LK4055, PROVIDE ALL COMPONENTS FOR COMPLETE INSTALLATION.	1 1/2"	1 1/2"	1/2"	1/2"
SA	WATER HAMMER ARRESTOR, PRECISION PLUMBING PRODUCTS (PPP) SC SERIES, 1/2-1", SIZE PER MANUFACTURE RECOMMENDATIONS AND REQUIREMENTS	--	--	1/2-1"	--
NOTES: 1. LAVATORY & WATER COOLERS SUPPLY SHALL BE BRASS W/BRASS ANGLE STOPS FOR 1/2" WATER SUPPLY LINES, W/LOOSE KEY (W/CAP), AND WALL FLANGE. ALL COMPONENTS SHALL BE POLISHED CHROME FINISH, MANUFACTURER BRASS CRAFT OR APPROVED EQUAL. 2. CAST BODY P-TRAP 1/2" x 1/2" WITH HEAVY CAST J-BEND & FLAT CLEANOUT PLUG, SLIP NUTS AND WALL FLANGE. ALL COMPONENTS SHALL BE POLISHED CHROME FINISH, MANUFACTURER BRASS CRAFT OR APPROVED EQUAL. 3. STRAINERS SHALL BE FURNISHED WITH FIXTURES AS REQUIRED, FOR H/C LAVATORY OR SINKS PROVIDE OFFSET TAILPIECE. 4. PROVIDE TRUEBRO MODEL 103 (WHITE), ANTIMICROBIAL HAND LAVA-GUARDS INSTALLATION KIT FOR ALL WHEELCHAIR LAVATORY & SINKS FOR WATER SUPPLIES & WASTE LINE. 5. PROVIDE WATER SUPPLY & P-TRAP & OPTIONAL WATER FILTERS FOR ELECTRIC WATER COOLERS AS PER MANUFACTURERS RECOMMENDATIONS. 6. THE PLUMBING FIXTURES VENDOR SHALL COORDINATE WITH THE PLUMBING AND GENERAL CONTRACTOR ALL PLUMBING FIXTURES ROUGH IN DIMENSIONS BEFORE CONSTRUCTION BEGINS. 7. UNLESS SHOWN ABOVE, PLUMBING FIXTURES MANUFACTURER TRIM COLOR AND FINISH SHALL BE FURNISHED AS DIRECTED BY OWNER/ARCHITECT. 8. REFER TO ARCHITECTURAL DRAWINGS FOR STANDARD, A.D.A MOUNTING AND CHLO HEIGHTS. REFER TO ARCHITECTURAL FOR LOCATION OF A.D.A COMPLIANT SHOWER SEAT AND SHOWER BARS.					

ELECTRIC WATER HEATER SCHEDULE									
MARK	MAKE & MODEL	STORAGE	RECOVERY @ TEMP. RISE	MIXING VALVE	ELECTRIC				REMARKS
					VOLTAGE	PHASE	AMPS	ELEMENT	
WH-1	NAVIEN NPE-240-A2	N/A	5.8 GPM @ 57°F RISE	N/A	120	1	4	N/A	
WH-2	A.O. SMITH ENS-30	30	2 GPM @ 30°F RISE	N/A	240	1	-	4.5 kW	
NOTES: 1. PROVIDE FACTORY INSTALLED HEAVY DUTY ELECTRICAL JUNCTION BOX, CONTROLS, WITH T-STATS SET ON 120°F. 2. INSTALL WATER HEATER IN ACCORDANCE TO SPC, SMC CODES, NEC, AND APPLICABLE STANDARDS AND MANUFACTURERS RECOMMENDATIONS. 3. CONTACT MANUFACTURERS REPRESENTATIVE FOR HEATERS ELECTRICAL DATA BEFORE FINAL ORDER IS MADE 4. INSTALL WATER HEATER IN ACCORDANCE WITH BUILDING CODE - PLUMBING & MECHANICAL (WITH LATEST AMENDMENTS) CODES, ENERGY CODE, AND APPLICABLE STANDARDS AND MANUFACTURERS RECOMMENDATIONS. 5. PROVIDE BRASS DRAIN VALVE, & ALL REQUIRED OPTIONS TO COMPLETE THE INSTALLATION.									

WALL MOUNTED HEAT PUMP UNIT SCHEDULE														
MARK	LOCATION	AREA SERVED	NOMINAL CFM	ESP IN WG	ELECTRICAL DATA			COOLING CAP. (MBH)	HEATING CAP. (MBH)	SOUND PRESSURE LEVEL (dB)	NET WEIGHT (LB)	REFRIG. TYPE	MAKE	REMARKS
					VOLTS	ø	MCA							
AC-1	APARTMENT	APARTMENT	109-364	—	208	1	1.0	9.0	10.9	19-43	29	R410A	MITSUBISHI	SEE BELOW
AC-2	COMMUNITY BUILDING	COMMUNITY BUILDING	233-581	—	208	1	1.0	18.0	21.6	28-49	28	R410A	MITSUBISHI	SEE BELOW
REMARKS:														
1. UNIT SHALL UTILIZE R-410A REFRIGERANT. R-22 REFRIGERANT IS NOT ACCEPTABLE.														
2. REFER TO AIR COOLED CONDENSING UNIT SCHEDULE FOR ASSOCIATED OUTDOOR UNIT.														
3. NOTE INDOOR UNIT IS POWERED BY OUTDOOR UNIT.														
4. PROVIDE X87-721 BLUE DIAMOND MAXIBLUE CONDENSATE PUMP WITH A DPLS DRAIN PAN LEVEL SENSOR AND WALL MOUNT SUPPORTS FOR EACH UNIT. PUMP SHALL BE HARD WIRED TO INDOOR UNIT.														
5. REFER TO SPECIFICATION SECTION FOR MORE INFORMATION.														
6. EQUIPMENT MUST BE PURCHASED FROM A COMMERCIAL SALES OFFICE THAT OFFERS FULL SALES, TECHNICAL SUPPORT AND HAS FULL SERVICE OPERATION WITH A MINIMUM OF (10) SERVICE TRUCKS. THE COMMERCIAL SALES OFFICE SHALL HAVE ACCESS TO ELECTRONIC SALES, SERVICE AND TECHNICAL SOFTWARE FOR COMPLETE SUBMITTAL PACKAGES AND AFTER-MARKET SUPPORT.														
7. PROVIDE CONTROL AND MONITORING CAPABILITY THROUGH BUILDING MANAGEMENT CONTROL SYSTEM (BMCS).														
a. PROVIDE BACNET PROCON DEVICE (FAC-UKPRC001) THAT WIRES DIRECTLY FROM THE INDOOR UNIT TO THE BMCS (BACNET/MSTP CONNECTION).														

AIR COOLED CONDENSING UNIT SCHEDULE																	
MARK	LOCATION	AREA SERVED	REFRIG.	COOLING DATA				HEATING DATA		COMPRESSOR DATA		ELECTRICAL DATA				MAKE/ MODEL	REMARKS
				CAPACITY (Tons)	SEER	EER	KW	CAPACITY (Tons)	COP	TYPE	# COMP.	VOLTS	Ø	MCA	MOCP		
CU-1	APARTMENT EXTERIOR	APARTMENT	R410A	20.0	20.0	12.7	2.455	25.0	3.93	TWIN ROTARY	1	208	1	17.2	20	MITSUBISHI / MYZ-2020NA2	SEE BELOW
CU-2	COMMUNITY BUILDING EXTERIOR	COMMUNITY BUILDING	R410A	22.0	20.0	13.6	1.900	25.0	4.2	INVERTER	1	208	1	22.1	25	MITSUBISHI / MYZ-3024NA2	SEE BELOW
<u>REMARKS:</u> 1. UNIT SHALL UTILIZE R-410A REFRIGERANT, R-22 REFRIGERANT IS NOT ACCEPTABLE. 2. THE UNIT SHALL BE EQUIPPED WITH THE FOLLOWING: LOW AMBIENT COOLING CAPABILITY WITH APPROVED KITS, COIL GUARDS, FIELD INSTALLED FILTER DRIER, FRONT SEAT SERVICE VALVES, INTERNAL PRESSURE RELIEF VALVE, LONG LINE CAPABILITY, LOSS OF CHARGE SWITCH, HIGH PRESSURE SWITCH, CRANKCASE HEATER, SNOW STAND, HEAD PRESSURE CONTROL, AND EVAPORATOR DEFROST CONTROL. 3. PROVIDE MANUFACTURERS WIND BARRIERS. 4. CONTRACTOR TO FINALIZE REFRIGERANT PIPE SIZES WITH EQUIPMENT MANUFACTURER BASED ON ACTUAL LAYOUT. 5. UNIT SHALL BE CAPABLE OF OPERATION AT OUTDOOR AMBIENT TEMPERATURE FROM -40°F TO 100°F. 6. PROVIDE CONCRETE CURBS FOR UNITS MOUNTED AT GRADE. 7. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 8. EQUIPMENT MUST BE PURCHASED FROM A COMMERCIAL SALES OFFICE THAT OFFERS FULL SALES, TECHNICAL SUPPORT AND HAS FULL SERVICE OPERATION WITH A MINIMUM OF (10) SERVICE TRUCKS. THE COMMERCIAL SALES OFFICE SHALL HAVE ACCESS TO ELECTRONIC SALES, SERVICE AND TECHNICAL SOFTWARE FOR COMPLETE SUBMITTAL PACKAGES AND AFTER-MARKET SUPPORT.																	





## GENERAL LIGHTING NOTES

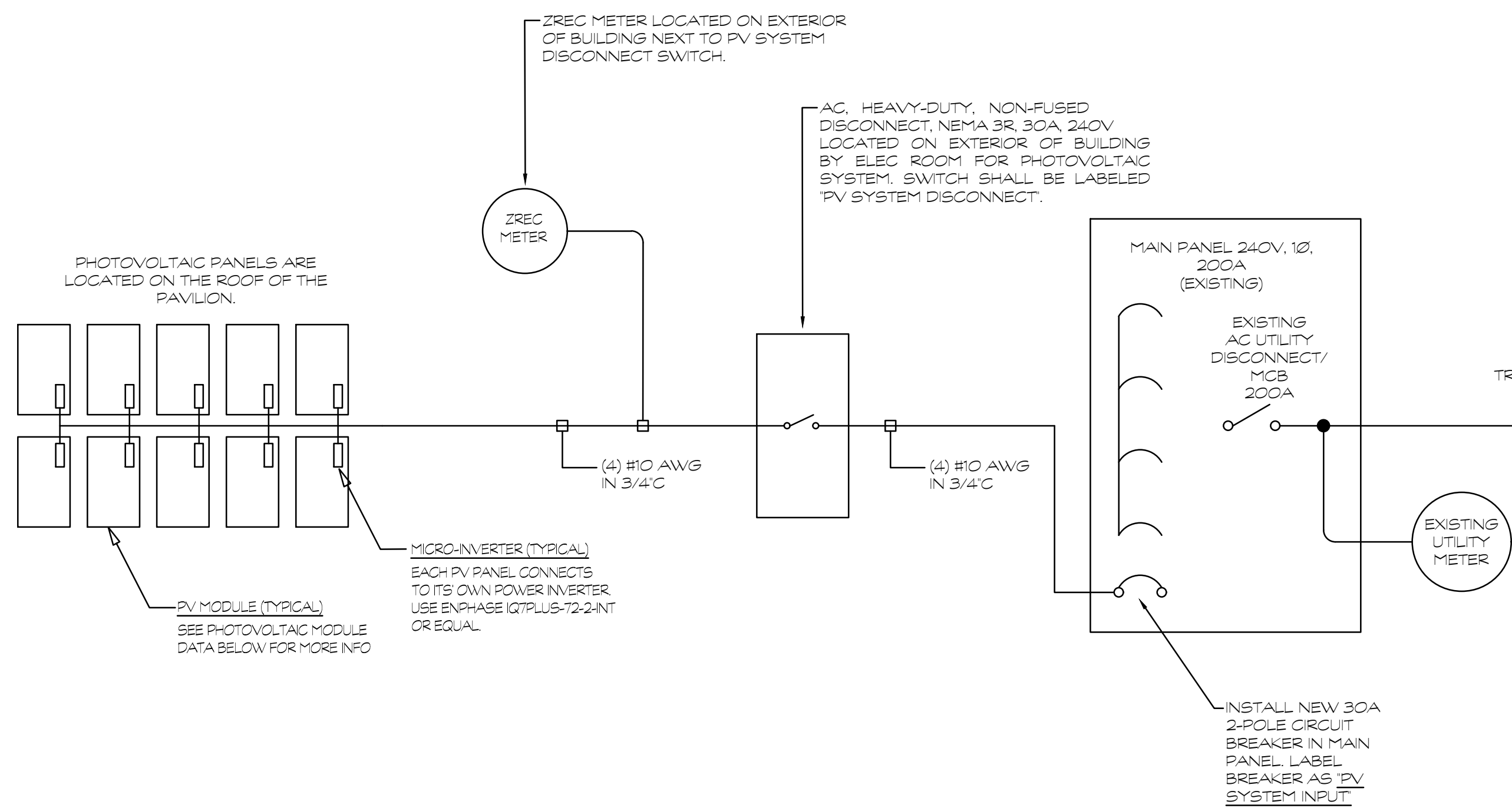
- SPECIFICATION SECTIONS, GENERAL CONDITIONS, SUPPLEMENTAL GENERAL CONDITIONS AND DRAWINGS ARE INTEGRAL PARTS OF CONTRACT DOCUMENTS.
- ALL WORK AND ACTION DEPICTED AND DESCRIBED IN CONTRACT DOCUMENTS TO BE PERFORMED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- REFERENCE TO SPECIFIC SUB-CONTRACTORS SUCH AS "ELECTRICAL", ETC. ARE INTENDED TO SUGGEST POSSIBLE DIVISION OF RESPONSIBILITY. PRIME CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF ALL WORK.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- ALL EQUIPMENT, MATERIALS AND RELATED SYSTEM COMPONENTS TO BE NEW UNLESS NOTED OTHERWISE.
- REPAIR AND REPLACE AT NO COST TO OWNER ALL EQUIPMENT AND MATERIALS DAMAGED DURING CONSTRUCTION.
- STUDY THE PROJECT MANUAL & DRAWINGS OF OTHER DISCIPLINES INCLUDING CIVIL.
- UNLESS NOTED OTHERWISE, ALL HOMERUNS SHOWN ARE 2#12 & 1#12S IN 3/4" CONDUIT TO 20A-IP CIRCUIT BREAKER IN PANEL LISTED.
- UNLESS NOTED OTHERWISE, ALL WIRING OF CIRCUIT MUST MAINTAIN HOMERUN WIRING OF CIRCUIT. MINIMUM POWER WIRING TO BE 2#12 & 1#12S IN 3/4" CONDUIT.
- WIRING SHOWN ON PLAN IS DIAGNOSTIC IN NATURE AND IS NOT INTENDED TO INDICATE EXACT WIRING CONDITIONS. EXACT WIRING REQUIREMENTS FOR NEW CIRCUITS SHALL BE DETERMINED/VERIFIED IN FIELD.
- CONTRACTOR SHALL DETERMINE THE QUANTITY OF CONDUCTORS REQUIRED FOR PROPER OPERATION OF ALL SWITCHING DEVICES.
- ACCEPTANCE TESTING OF THE EMERGENCY LIGHTING SYSTEM SHALL BE CONDUCTED PRIOR TO GO PER IFC 1008.3.4 AND 1008.3.5.
- EXIT SIGNS AND EMERGENCY LIGHTS ARE TO BE WIRED TO THE NON-SWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLANS.

## GENERAL POWER NOTES

- SPECIFICATION SECTIONS, GENERAL CONDITIONS, SUPPLEMENTAL GENERAL CONDITIONS AND DRAWINGS ARE INTEGRAL PARTS OF CONTRACT DOCUMENTS.
- ALL WORK AND ACTION DEPICTED AND DESCRIBED IN CONTRACT DOCUMENTS TO BE PERFORMED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- REFERENCE TO SPECIFIC SUB-CONTRACTORS SUCH AS "ELECTRICAL", ETC. ARE INTENDED TO SUGGEST POSSIBLE DIVISION OF RESPONSIBILITY. PRIME CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF ALL WORK.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- ALL EQUIPMENT, MATERIALS AND RELATED SYSTEM COMPONENTS TO BE NEW UNLESS NOTED OTHERWISE.
- REPAIR AND REPLACE AT NO COST TO OWNER ALL EQUIPMENT AND MATERIALS DAMAGED DURING CONSTRUCTION.
- STUDY THE PROJECT MANUAL & DRAWINGS OF OTHER DISCIPLINES INCLUDING CIVIL.
- ACCESS TO AND CLEARANCES AROUND ELECTRICAL EQUIPMENT MUST CONFORM TO N.E.C. ARTICLES 10 AND 384. ELECTRICAL CONTRACTOR MUST CONSULT ENGINEER WHERE SPACE APPEARS INADEQUATE DUE TO ARCHITECTURAL CHANGES, EQUIPMENT LAYOUT CHANGES OR FIELD CONDITIONS. DO NOT COVER, OBSCURE OR BLOCK ACCESS TO EQUIPMENT, DATA PLATES, ACCESS PLATES OR MAINTENANCE AREAS WITH THE ELECTRICAL WORK.
- THIS DRAWING SHOWS EQUIPMENT LOCATIONS ONLY. WIRING SHOWN IS SCHEMATIC IN NATURE. REFER TO RISER AND DETAILS FOR ALL REQUIRED POWER AND CONTROL WIRING. COORDINATE CONDUIT ROUTES IN FIELD WITH OTHER TRADES. EQUIPMENT AND OWNER VERIFY ALL MOUNTING HEIGHTS WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- UNLESS NOTED OTHERWISE, ALL HOMERUNS SHOWN ARE 2#12 & 1#12S IN 3/4" CONDUIT TO 20A-IP CIRCUIT BREAKER IN PANEL LISTED. REFER TO EQUIPMENT SCHEDULES ON DRAWING 8300 FOR ADDITIONAL CIRCUIT AND WIRING REQUIREMENTS.
- UNLESS NOTED OTHERWISE, ALL WIRING OF CIRCUIT MUST MAINTAIN HOMERUN WIRING OF CIRCUIT. MINIMUM POWER WIRING TO BE 2#12 & 1#12S IN 3/4" CONDUIT. MINIMUM CONTROL WIRING SHALL BE 2#14, 3/4" CONDUIT.
- WIRING SHOWN ON PLAN IS DIAGNOSTIC IN NATURE AND IS NOT INTENDED TO INDICATE EXACT WIRING CONDITIONS. EXACT WIRING REQUIREMENTS FOR NEW CIRCUITS AND CONNECTIONS TO EXISTING FIXTURES/CIRCUITS SHALL BE DETERMINED/VERIFIED IN FIELD.
- ALL PENETRATIONS THRU RATED WALLS & CEILINGS SHALL BE SEALED USING UL LISTED METHODS APPROPRIATE FOR INDICATED RATING.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED SLEEVES AND SEALS FOR PIPES OR CONDUIT PENETRATING WALLS OR FLOORS SEALS WITH UL LISTED FIRE STOPPING SEALANT WHERE REQUIRED.
- ELECTRICAL CONDUITS & BOXES SHALL BE CONCEALED IN WALLS OR ABOVE CEILINGS WHEREVER POSSIBLE.
- CONTRACTOR SHALL COORDINATE THE LOCATION AND QUANTITY OF ALL MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR. PROVIDE POWER WIRING TO ALL NEW EQUIPMENT. REFER TO DRAWING 802 FOR EXACT LOCATIONS AND ADDITIONAL INFORMATION.
- IT IS NOT THE INTENTION TO SHOW EVERY FITTING, HANGER, WIRE OR DEVICE. ALL SUCH ITEMS SHALL BE FURNISHED AND INSTALLED AS NECESSARY FOR A COMPLETE SYSTEM.
- ALL RECEPTACLES LOCATED IN THE SIX FEET OF SINKS OR A WATER SOURCE SHALL BE GFI TYPE.
- ANY DUPLEX OUTLET OR DATA OUTLET MARKED WITH AN "X" SHALL BE MOUNTED AT 42" AFF OR 6" ABOVE THE COUNTERTOP.

## ELECTRICAL SYMBOL LEGEND

- (NOT ALL SYMBOLS ARE USED)
- ELECTRICAL PANEL, 120/208 VOLT.
  - PANELBOARD FLUSH MOUNTED.
  - PANELBOARD SURFACE MOUNTED.
  - NON-FUSED DISCONNECT SWITCH.
  - FUSED DISCONNECT SWITCH.
  - JUNCTION BOX, ACCORDING TO NEC REQUIREMENTS.
  - MOTOR STARTER. COORDINATE EXACT REQUIREMENTS WITH MOTOR FURNISHED.
  - RECESSED LIGHT FIXTURE; SUBLETTER INDICATES FIXTURE TYPE.
  - RECESSED LIGHT FIXTURE WITH INTEGRAL BATTERY PACK FOR 90 MINUTE EMERGENCY LIGHTING.
  - TYPICAL RECESSED FLUORESCENT TROFFER; SUBLETTER INDICATES FIXTURE TYPE & SIZE.
  - LIGHT FIXTURE WITH INTEGRAL BATTERY PACK FOR 90 MINUTE EMERGENCY LIGHTING.
  - RECESSED HIGH EFFICIENCY GLARE CONTROL FIXTURE; SUBLETTER INDICATES FIXTURE TYPE & SIZE.
  - TYPICAL SURFACE MOUNTED OR CABLE HUNG LED FIXTURE; SUBLETTER INDICATES FIXTURE TYPE & SIZE.
  - WALL MOUNTED FIXTURE; SUBLETTER INDICATES FIXTURE TYPE.
  - WALL MOUNTED FIXTURE WITH INTEGRAL BATTERY PACK FOR 90 MINUTE EMERGENCY LIGHTING; SUBLETTER INDICATES FIXTURE TYPE.
  - WALL MOUNTED SCONCE FIXTURE, WITH EMERGENCY BALLAST, 1400 LUMENS.
  - CEILING MOUNTED EXIT SIGN. SHADING INDICATES DIRECTION OF FIXTURE FACE. ARROW INDICATES DIRECTION OF CHEVRON. PROVIDE UNSWITCHED POWER FROM AREA LIGHTING CIRCUIT.
  - WALL MOUNTED EXIT SIGN. INSTALL AT 7'-6" AFF OR ON EXISTING LOCATION.
  - DOUBLE FACE EXIT SIGN.
  - COMBO LED EXIT/EMERGENCY DUAL HEAD LIGHT.
  - COMBINATION EXIT AND HANDICAP SIGN. INSTALL AT 7'-6" AFF OR AS NOTED. ARROW INDICATES DIRECTION OF CHEVRON. PROVIDE UNSWITCHED POWER FROM AREA LIGHTING CIRCUIT.
  - TWIN HEAD EMERGENCY LIGHT WITH INTEGRAL BATTERY FOR 90 MINUTE EMERGENCY LIGHTING.
  - SINGLE-POLE SWITCH; MOUNT AT 48" AFF.
  - 3-WAY SWITCH; MOUNT AT 48" AFF.
  - 4-WAY SWITCH; MOUNT AT 48" AFF.
  - SINGLE-POLE, MOTION SENSOR SWITCH; MOUNT AT 48" AFF.
  - LED DIMMING CONTROL COMPATIBLE WITH DIMMING DRIVER.
  - LED WALL MOUNTED OCCUPANCY SENSOR SWITCH.
  - KEYED SINGLE-POLE OR 3-WAY SWITCH; MOUNT AT 48" AFF.
  - CEILING MOUNTED OCCUPANCY SENSOR. REFER TO SPECIFICATION 260923 FOR DETAILS.
  - DUPLEX RECEPTACLE; MOUNT AT 18" AFF UNLESS OTHERWISE SPECIFIED. "CTR" INDICATES 6" ABOVE COUNTER.
  - 250-VOLT, NEMA TYPE RECEPTACLE IN FLUSH OUTLET BOX (2P OR 3P MARKED ON DRAWING).
  - QUAD RECEPTACLE; MOUNT AT 18" AFF UNLESS OTHERWISE SPECIFIED.
  - POWER RECEPTACLE INSTALLED ABOVE CEILING AS SHOWN ON POWER PLANS.
  - DUPLEX GROUND FAULT RECEPTACLE; MOUNT AT 18" AFF UNLESS OTHERWISE SPECIFIED.
  - RECEPTACLE WITH OUTDOOR RATED COVER PLATE. PROVIDE FLUSH MOUNTED BOX.
  - TAMPER RESISTANCE RECEPTACLE.
  - DUPLEX RECEPTACLE FLOOR BOX.
  - DUPLEX RECEPTACLE FLOOR BOX.
  - COMPUTER NETWORK WORKSTATION PORT. MOUNT AT 18" AFF UNLESS OTHERWISE NOTED. D:X = NUMBER OF DATA OUTLETS. PROVIDE CAT6 CABLE (4 PAIR UTP) ON EACH LOCATION AS NOTED.
  - TELEPHONE JACK LOCATION. PROVIDE 4" SQUARE BOX, 1-GANG RING & 3/4" CONDUIT TO CEILING SPACE. PROVIDE CAT6 CABLE (4 PAIR UTP) ON EACH LOCATION. SUBLETTER "W" INDICATES WALL PHONE.
  - VOICE/DATA OUTLET, 4" X 4" OUTLET BOX WITH A 1 GANG COVER 18 INCHES ABOVE FINISHED FLOOR OR AS NOTED WITH 3/4" CONDUIT TO 6" ABOVE ACCESSIBLE CEILING. V:X/D:X = NUMBER OF VOICE/DATA PORTS. PROVIDE CAT6 CABLE (4 PAIR UTP) ON EACH LOCATION. COORDINATE WITH A/V CONTRACTOR.
  - FLUSH OUTLET BOX FOR WALL-MOUNTED TELEPHONE 48" AFF OR AT HEIGHT INDICATED ON PLAN. WITH 3/4" CONDUIT TO 6" ABOVE ACCESSIBLE CEILING. PROVIDE CAT6 CABLE (4 PAIR UTP) ON EACH LOCATION. AS ABOVE.
  - TV COAXIAL JACK LOCATION. PROVIDE NEW JACK & COAXIAL CABLE TO HEADEND EQUIPMENT. INSTALL AT 18" AFF UNLESS OTHERWISE SPECIFIED. COORDINATE MOUNTING HEIGHTS AND REQUIREMENTS OF JACK & CABLE WITH OWNER & SYSTEM INSTALLER BEFORE INSTALLATION.
  - WIRELESS ACCESS POINT. SUBLETTER "EXT" INDICATES EXTERIOR WIRELESS UNIT.
  - CALL-FOR-AID SWITCH. MOUNT AT 36" AFF, W/ PULL CORD HANGING DOWN TO 6" AFF.
  - CALL-FOR-AID CORRIDOR LIGHT/BUZZER. MOUNT AT 7'-6" AFF.
  - EMERGENCY STOP.
  - EQUIPMENT TAG.
  - DAY-LIGHT SENSOR.
  - TIME CLOCK/LIGHTING CONTROL PANEL.
  - BRANCH CIRCUIT HOMERUN (VOLTAGE, BRANCH CIRCUIT POLES).



**SPECIAL GROUNDING NOTES:**  
AN INDEPENDENT #6 AWG COPPER DC GROUNDING ELECTRODE CONDUCTOR (GEC) IS TO BE INSTALLED AT PV MODULE ARRAYS AND TERMINATED ON PROVIDED DC GROUNDING ELECTRODE TERMINAL PROVIDED ON EACH MICROINVERTER. DC GEC IS TO BE RUN TO WEATHERPROOF JUNCTION BOX AND CONNECTED TO BUILDING AC EQUIPMENT GROUND AND ARRAY RACKING EQUIPMENT GROUND AT WEATHERPROOF BOX USING AN INSULATED SPUCE CONNECTOR SUCH AS POLARIS, GREAVES, OR ILSCO.

PHOTOVOLTAIC MODULE DATA	
SUNPOWER CORP SPR-M430-CON MONO CRYSTALLINE 72 CELL PV MODULES	
TOTAL DC WATTS (STANDARD TEST CONDITIONS): 4,300W	
ELECTRICAL RATINGS UNDER STANDARD TEST CONDITIONS (STC)	
NOMINAL OUTPUT (P <sub>nom</sub> )	430W
MODULE EFFICIENCY	21.2%
VOLTAGE AT MAXIMUM PERFORMANCE (V <sub>mpp</sub> )	42.7V
CURRENT AT MAXIMUM PERFORMANCE (I <sub>mpp</sub> )	10.1A
OPEN CIRCUIT VOLTAGE (V <sub>oc</sub> )	51.2V
SHORT CIRCUIT CURRENT (I <sub>sc</sub> )	10.9A
TEMPERATURE COEFFICIENT (P <sub>mpp</sub> )	-0.29%/C

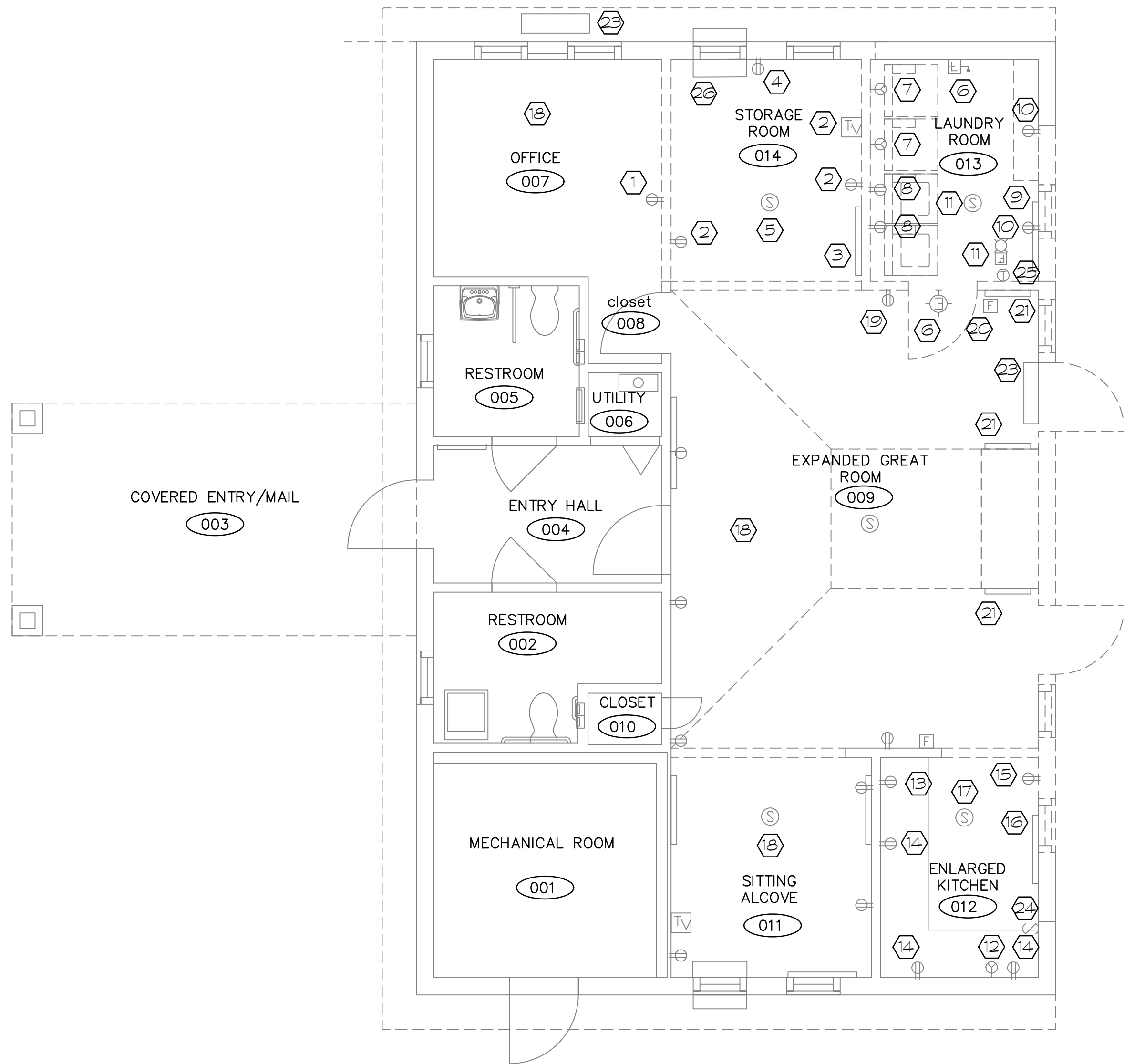
## COMMUNITY BUILDING LIGHTING FIXTURE SCHEDULE

FIXT TAG	DESCRIPTION	MANUFACTURER/ MODEL NUMBER	LAMP				ELECTRICAL				NOTES	
			TYPE	CRI	COLOR TEMP	NO	BALLAST/ DRIVER	VOLTAGE	WATTS	LUMENS		
A	SURFACE MOUNTED 1X4 WRAPAROUND LED LIGHT FIXTURE WITH STEEL HOUSING, PRISMATIC ACRYLIC DIFFUSER AND BAKED WHITE ENAMEL FINISH.	DAY-BRITE LIGHTING OWL450LB35UNV	LED	80	3500K	---	DRIVER	120	5.3	5000		
B1	COVE MOUNTED LED STRIP FIXTURE WITH EXTRUDED ALUMINUM HOUSING, ETCHED POLYCARBONATE LENS, AND WHITE FINISH. LENGTH SHALL HAVE 5, 4 FOOT MODULES.	SSL LIGHTING ECVLX-4-35K-60-10VELVDIM ECVLX-1-35K-60-10VELVDIM	LED	80	3500K	----	DIMMING DRIVER	120	22.5.5	2512.628	①	
B2	COVE MOUNTED LED STRIP FIXTURE WITH EXTRUDED ALUMINUM HOUSING, ETCHED POLYCARBONATE LENS, AND WHITE FINISH. LENGTH SHALL HAVE 4, 4 FOOT MODULES.	SSL LIGHTING ECVLX-4-35K-60-10VELVDIM ECVLX-1-35K-60-10VELVDIM	LED	80	3500K	----	DIMMING DRIVER	120	22.5.5	2512.628	①	
B3	COVE MOUNTED LED STRIP FIXTURE WITH EXTRUDED ALUMINUM HOUSING, ETCHED POLYCARBONATE LENS, AND WHITE FINISH. LENGTH SHALL HAVE 5, 4 FOOT AND 2, 1 FOOT MODULES.	SSL LIGHTING ECVLX-4-35K-60-10VELVDIM ECVLX-1-35K-60-10VELVDIM	LED	80	3500K	----	DIMMING DRIVER	120	22.5.5	2512.628	①	
B4	COVE MOUNTED LED STRIP FIXTURE WITH EXTRUDED ALUMINUM HOUSING, ETCHED POLYCARBONATE LENS, AND WHITE FINISH. LENGTH SHALL HAVE 1, 4 FOOT AND 3, 1 FOOT MODULES.	SSL LIGHTING ECVLX-4-35K-60-10VELVDIM ECVLX-1-35K-60-10VELVDIM	LED	80	3500K	----	DIMMING DRIVER	120	22.5.5	2512.628	①	
C1	54", 4-BLADE CEILING FAN W/ SPEED CONTROLLER & BRUSHED COCOA FINISH	HUNTER ARIS SERIES	NONE	-	-	----	SPEED CONTROL	120	20	-		
EX	WALL MOUNTED LED EMERGENCY EXIT SIGN WITH WHITE THERMOPLASTIC HOUSING, RED LETTERS AND DUAL LED EMERGENCY LIGHTS.	CHLORIDE VLTCR3R	LED	80	---	----	---	120				
AA	COLUMN MOUNTED LED AREA LIGHT FIXTURE WITH CAST ALUMINUM WATER-TIGHT HOUSING AND WHITE HOUSING.	CGF DESIGN VS-REC-LED11-CT4-UNV-WHT-RW	LED	80	4000K	----	DIMMING DRIVER	120	11	2000		
BB	WALL MOUNTED LED AREA LIGHT FIXTURE WITH ALUMINUM WATER-TIGHT HOUSING, WHITE POWDER COAT FINISH AND EMERGENCY BATTERY.	CGF DESIGN WQ2-DN-LED25-CT4-80CRI-UNV-WHT-CFP-EM20W	LED	80	4000K	----	DRIVER	120	25	3325		

① PROVIDE SSL LIGHTING CACR-WH-CL SURFACE MOUNTED ROUND COVE WITH WHITE FINISH AND CLEAR LENS. EXACT LENGTHS SHALL BE FIELD MEASURED. PROVIDE ALL NECESSARY ACCESSORIES. PROVIDE FOUR (4) END CAPS AND TWO (2) INSIDE CORNERS.



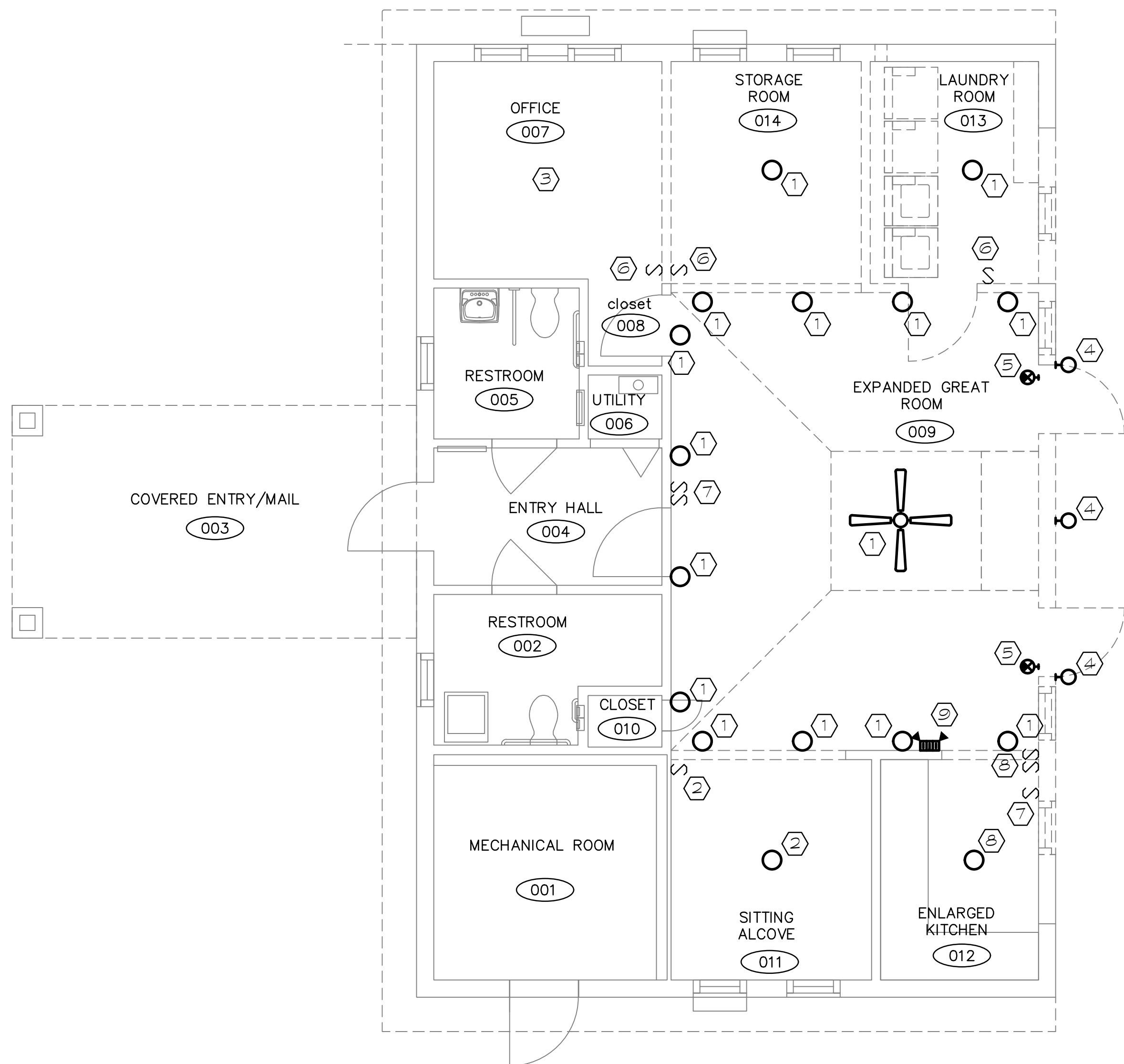




COMMUNITY CENTER ELECTRICAL POWER DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
NOT ALL DEVICES MAY BE SHOWN. DEVICES  
SHOWN WERE OBSERVED DURING THE SITE  
VISIT.

1  
ED101



COMMUNITY CENTER ELECTRICAL LIGHTING DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL DEVICES MAY NOT BE SHOWN. DEVICES  
SHOWN WERE OBSERVED DURING THE SITE  
VISIT.

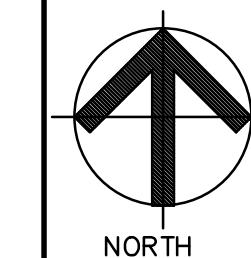
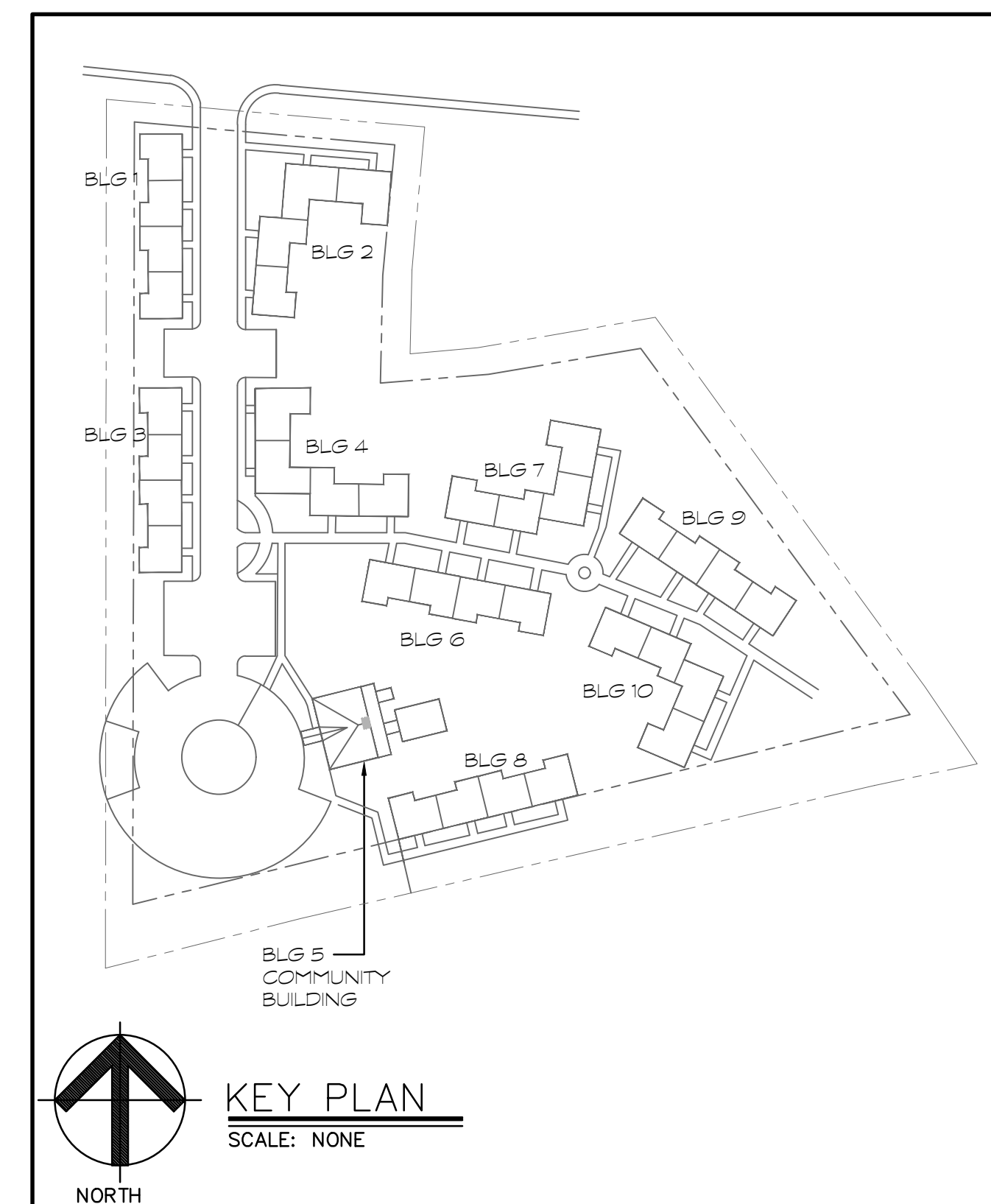
2  
ED101

## ELECTRICAL POWER DEMOLITION KEYNOTES

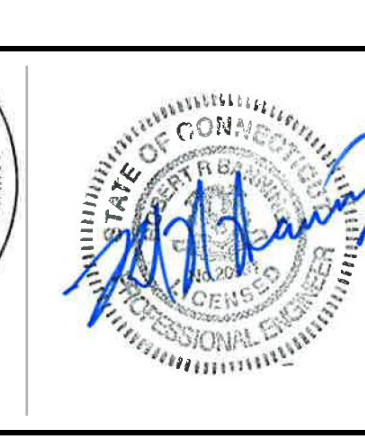
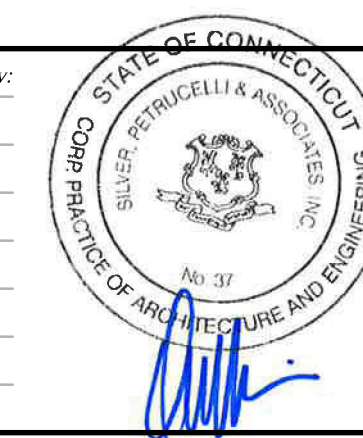
- 1 EXISTING DUPLEX OUTLET SHALL BE REMOVED. REFER TO DRAWING E102 FOR LOCATION AND ADDITIONAL INFORMATION.
- 2 EXISTING DUPLEX OUTLET AND TELEVISION OUTLET IN THIS ROOM TO BE REMOVED. EXISTING WIRING TO BE REMOVED COMPLETE BACK TO SOURCE OR THE LAST REMAINING DEVICE IN THE CIRCUIT.
- 3 EXISTING BASEBOARD ELECTRIC HEAT AND ASSOCIATED THERMOSTAT IN THIS ROOM TO BE REMOVED AND REINSTALLED. EXISTING FEEDER SHALL BE MADE SAFE FOR RECONNECTION. CIRCUIT BREAKER TO BE TURNED OFF AND MADE AVAILABLE FOR REUSE.
- 4 EXISTING DUPLEX OUTLET TO REMAIN.
- 5 EXISTING FIRE ALARM SMOKE DETECTOR IN STORAGE ROOM TO BE REMOVED AND STORED FOR REINSTALLATION. EXISTING WIRING SHALL BE REMOVED BACK TO LAST REMAINING DEVICE. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
- 6 EXISTING CALL FOR AID SYSTEM IN THE LAUNDRY ROOM SHALL BE REMOVED AND STORED FOR REUSE IN THE NEW LAUNDRY ROOM. ALL ASSOCIATED WIRING TO BE REMOVED. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
- 7 EXISTING DRYER OUTLET TO BE REMOVED. EXISTING FEEDER TO BE MADE SAFE FOR REUSE. REFER TO DRAWING E102 FOR NEW LOCATIONS AND ADDITIONAL INFORMATION.
- 8 EXISTING WASHER OUTLET TO BE REMOVED. EXISTING FEEDER TO BE MADE SAFE FOR REUSE. REFER TO DRAWING E102 FOR NEW LOCATIONS AND ADDITIONAL INFORMATION.
- 9 EXISTING BASEBOARD ELECTRIC HEAT IN THE LAUNDRY ROOM TO BE REMOVED. EXISTING FEEDER TO BE MADE SAFE FOR REUSE. REFER TO DRAWING E102 FOR NEW LOCATION AND ADDITIONAL INFORMATION.
- 10 EXISTING DUPLEX OUTLETS IN THE LAUNDRY ROOM ARE TO BE REMOVED IN THE NEW LAUNDRY ROOM WALLS. REFER TO DRAWING E102 FOR LOCATIONS AND ADDITIONAL INFORMATION.
- 11 EXISTING FIRE ALARM HORN/STROBE AND SMOKE DETECTOR TO BE REMOVED. EXISTING WIRING SHALL BE REMOVED BACK TO LAST REMAINING DEVICES. NEW WIRING TO BE PROVIDED. SPlicing OF WIRING IS NOT ALLOWED. REFER TO DRAWING E102 FOR NEW LOCATIONS.
- 12 EXISTING RANGE OUTLET AND CIRCUITING TO REMAIN.
- 13 EXISTING REFRIGERATOR OUTLET AND CIRCUITING TO REMAIN.
- 14 EXISTING COUNTER OUTLETS TO BE REMOVED. EXISTING FEEDER TO BE MADE SAFE FOR REUSE.
- 15 EXISTING DUPLEX RECEPTACLE TO BE REMOVED. EXISTING WIRING SHALL BE REMOVED BACK TO LAST REMAINING DEVICE.
- 16 EXISTING BASEBOARD ELECTRIC HEAT IN THE KITCHEN TO BE REMOVED. EXISTING FEEDER SHALL BE REMOVED BACK TO SOURCE CIRCUIT BREAKER. CIRCUIT BREAKER TO BE TURNED OFF AND MADE AVAILABLE FOR REUSE.
- 17 EXISTING FIRE ALARM SMOKE DETECTOR SHALL BE REMOVED AND STORED FOR REUSE. EXISTING WIRING SHALL BE REMOVED BACK TO LAST REMAINING DEVICE. NEW WIRING TO BE PROVIDED. SPlicing OF WIRING IS NOT ALLOWED. REFER TO DRAWING E102 FOR NEW LOCATION.
- 18 EXISTING DUPLEX OUTLETS, BASEBOARD HEATERS AND FIRE ALARM DEVICES IN THE GREAT ROOM AND SITTING ALCOVE SHALL REMAIN UNLESS OTHERWISE NOTED.
- 19 EXISTING DUPLEX OUTLET TO BE REMOVED. REFER TO DRAWING E102 FOR LOCATION AND ADDITIONAL INFORMATION.
- 20 EXISTING FIRE ALARM PULL STATION TO BE REMOVED AND REINSTALLED IN THE NEW WALL. EXISTING WIRING SHALL BE REMOVED BACK TO LAST REMAINING DEVICE. NEW WIRING TO BE PROVIDED. SPlicing OF WIRING IS NOT ALLOWED. REFER TO DRAWING E102 FOR LOCATION AND ADDITIONAL INFORMATION.
- 21 EXISTING BASEBOARD ELECTRIC HEAT IN THE GREAT ROOM TO BE RELOCATED TO NEW WALLS. EXISTING FEEDER SHALL BE MADE SAFE FOR RECONNECTION. TURN CIRCUIT BREAKER OFF. REFER TO DRAWING E102 FOR LOCATION AND ADDITIONAL INFORMATION.
- 22 EXISTING DUPLEX OUTLET MOUNTED TO THE PAVILION SHALL BE REMOVED. EXISTING WIRING SHALL BE REMOVED COMPLETE BACK TO THE SOURCE OR TO LAST REMAINING DEVICE IN THE CIRCUIT.
- 23 EXISTING DUCTLESS SLIT SYSTEM IS BEING REPLACED. EXISTING FEEDER TO BE MADE SAFE FOR REUSE. CIRCUIT BREAKER TO BE TURNED OFF AND MADE AVAILABLE FOR REUSE WITH NEW SYSTEM.
- 24 EXISTING SWITCH FOR KITCHEN WALL EXHAUST FAN TO BE RELOCATED. REFER TO DRAWING E102 FOR NEW SWITCH LOCATION.
- 25 EXISTING WALL THERMOSTAT TO BE RELOCATED. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
- 26 EXISTING THROUGH WALL AIR CONDITIONER TO BE REMOVED. EXISTING FEEDER SHALL BE REMOVED BACK TO SOURCE CIRCUIT BREAKER. CIRCUIT BREAKER TO BE TURNED OFF AND MADE AVAILABLE FOR REUSE.

## ELECTRICAL LIGHTING DEMOLITION KEYNOTES

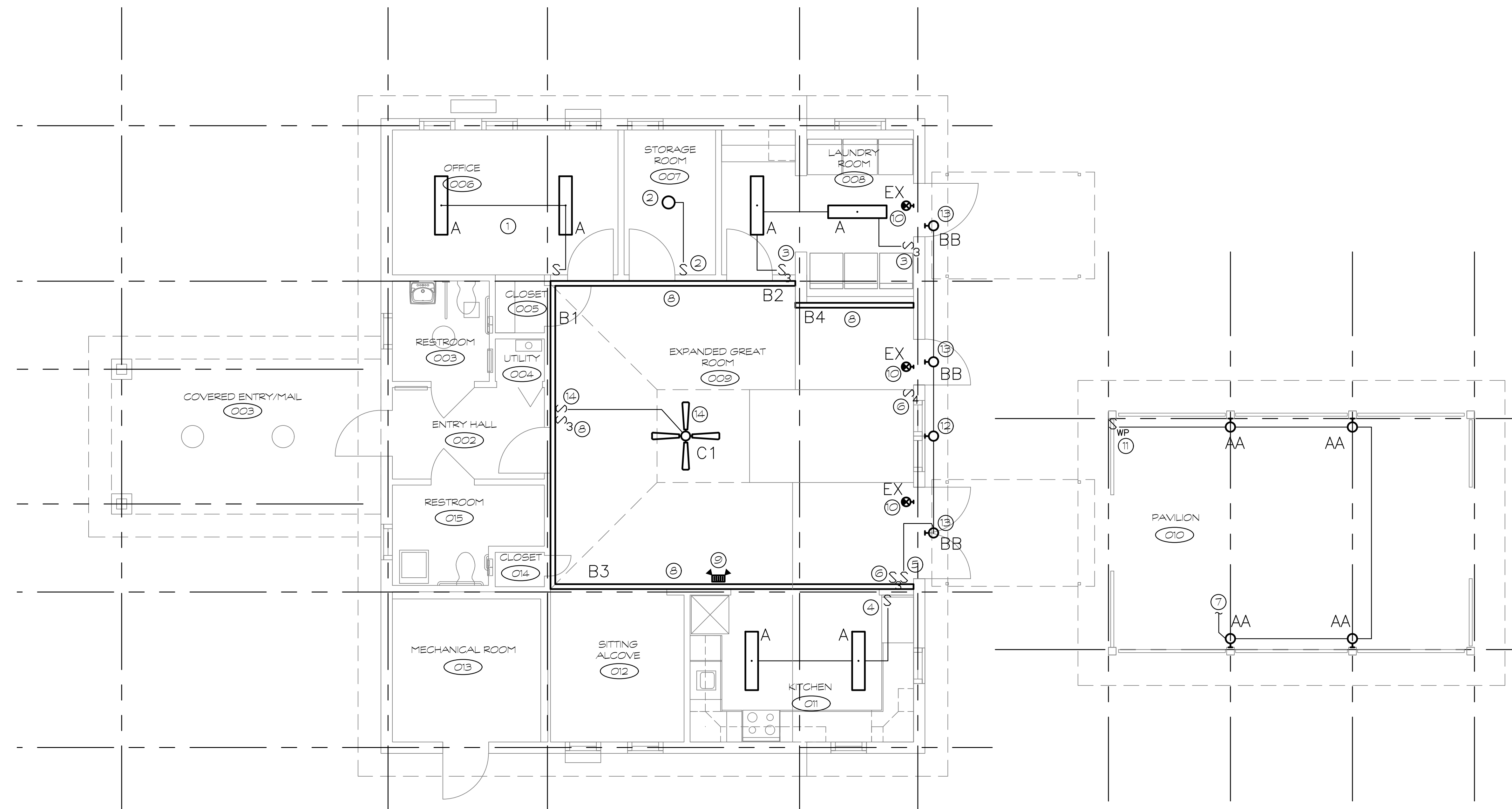
- 1 EXISTING LIGHT FIXTURE AND ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE OR LAST REMAINING LIGHT FIXTURE IN THE CIRCUIT. REFER TO DRAWING E101 FOR NEW FIXTURE LOCATIONS AND ADDITIONAL INFORMATION.
- 2 EXISTING LIGHT FIXTURE AND SWITCH IN THIS ROOM ARE TO BE REMAIN.
- 3 EXISTING LIGHT FIXTURE AND SWITCH IN THIS ROOM TO BE REMOVED. REFER TO DRAWING E101 FOR ADDITIONAL INFORMATION.
- 4 EXISTING EXTERIOR LIGHT FIXTURES AT EXTERIOR DOORS SHALL BE REMOVED. ASSOCIATED WIRING SHALL BE MADE SAFE FOR RECONNECTION TO NEW EXTERIOR FIXTURES. EXISTING LIGHT OVER LOUVER SHALL BE RELOCATED TO NEW WALL. CIRCUIT BREAKER TO BE TURNED OFF. REFER TO DRAWING E101 FOR NEW FIXTURE LOCATIONS.
- 5 EXISTING EXIT SIGN TO BE REMOVED. ASSOCIATED WIRING SHALL BE MADE SAFE FOR EXTENSION TO NEW EXIT SIGN LOCATIONS. REFER TO DRAWING E101 FOR NEW FIXTURE LOCATIONS AND ADDITIONAL INFORMATION.
- 6 EXISTING LIGHT SWITCH SHALL BE REMOVED. ASSOCIATED WIRING SHALL REMAIN FOR REUSE.
- 7 EXISTING LIGHT SWITCH FOR ENTRY HALL TO REMAIN. EXISTING LIGHT SWITCH FOR GREAT ROOM TO BE REMOVED AND REPLACED. ASSOCIATED SWITCH WIRING SHALL BE MADE SAFE FOR CONNECTION TO NEW GREAT ROOM LIGHT FIXTURES. REFER TO DRAWING E101 FOR ADDITIONAL INFORMATION.
- 8 EXISTING LIGHT SWITCHES IN KITCHEN TO BE REMOVED. ASSOCIATED WIRING SHALL REMAIN FOR REUSE. REFER TO DRAWING E101 FOR NEW LOCATIONS.
- 9 EXISTING WALL MOUNTED EMERGENCY LIGHT TO REMAIN.



KEY PLAN  
SCALE: NONE





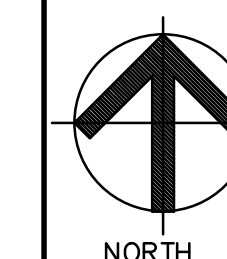
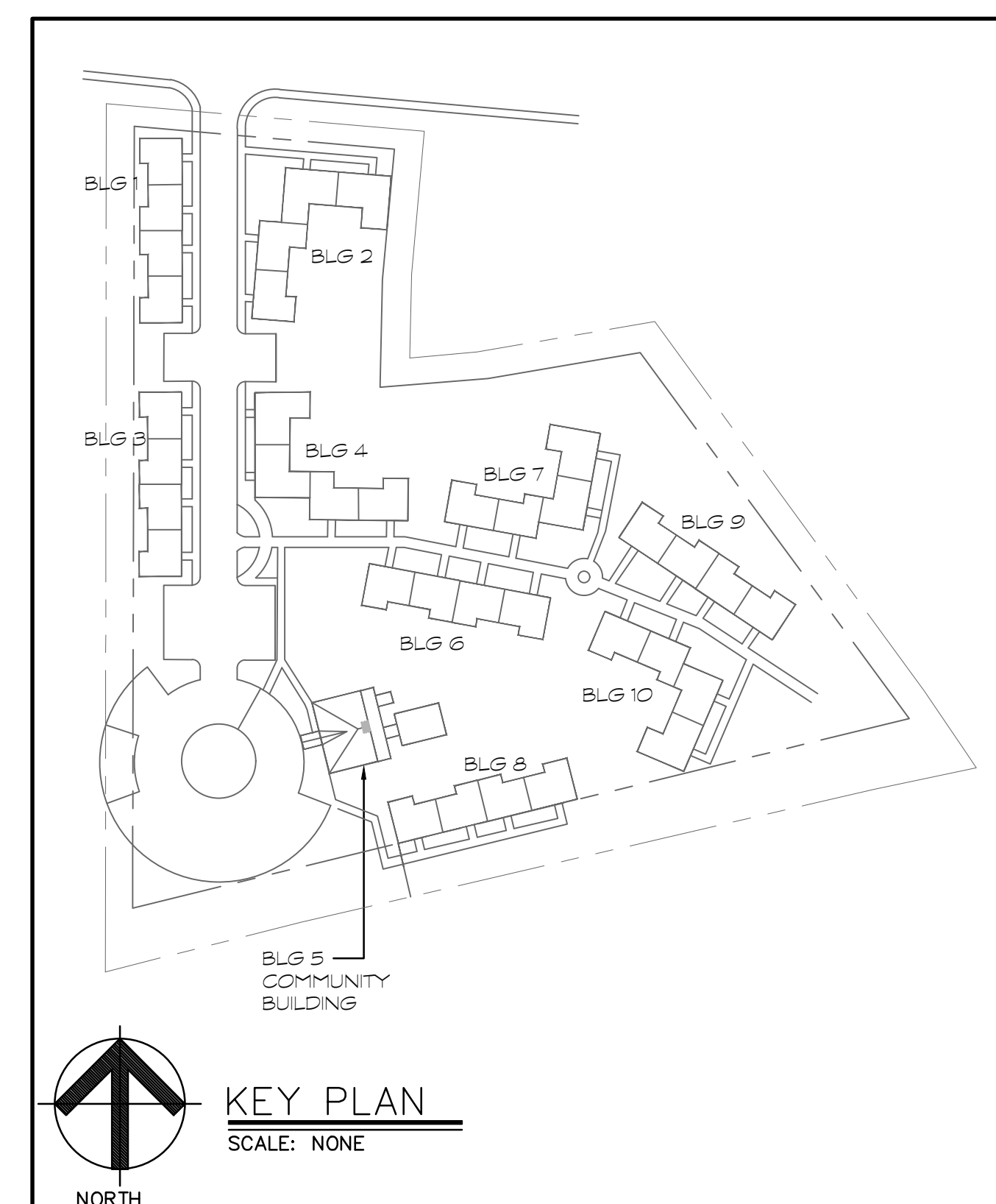


COMMUNITY CENTER ELECTRICAL LIGHTING PLAN  
SCALE 1/4" = 1'-0"

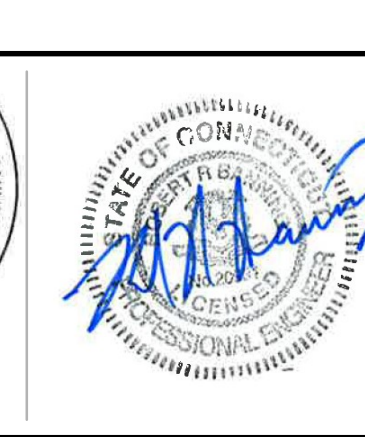
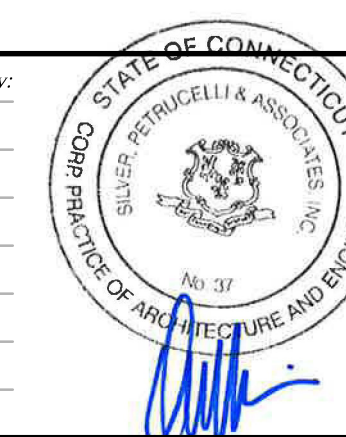
1  
E101

# ELECTRICAL LIGHTING KEYNOTES

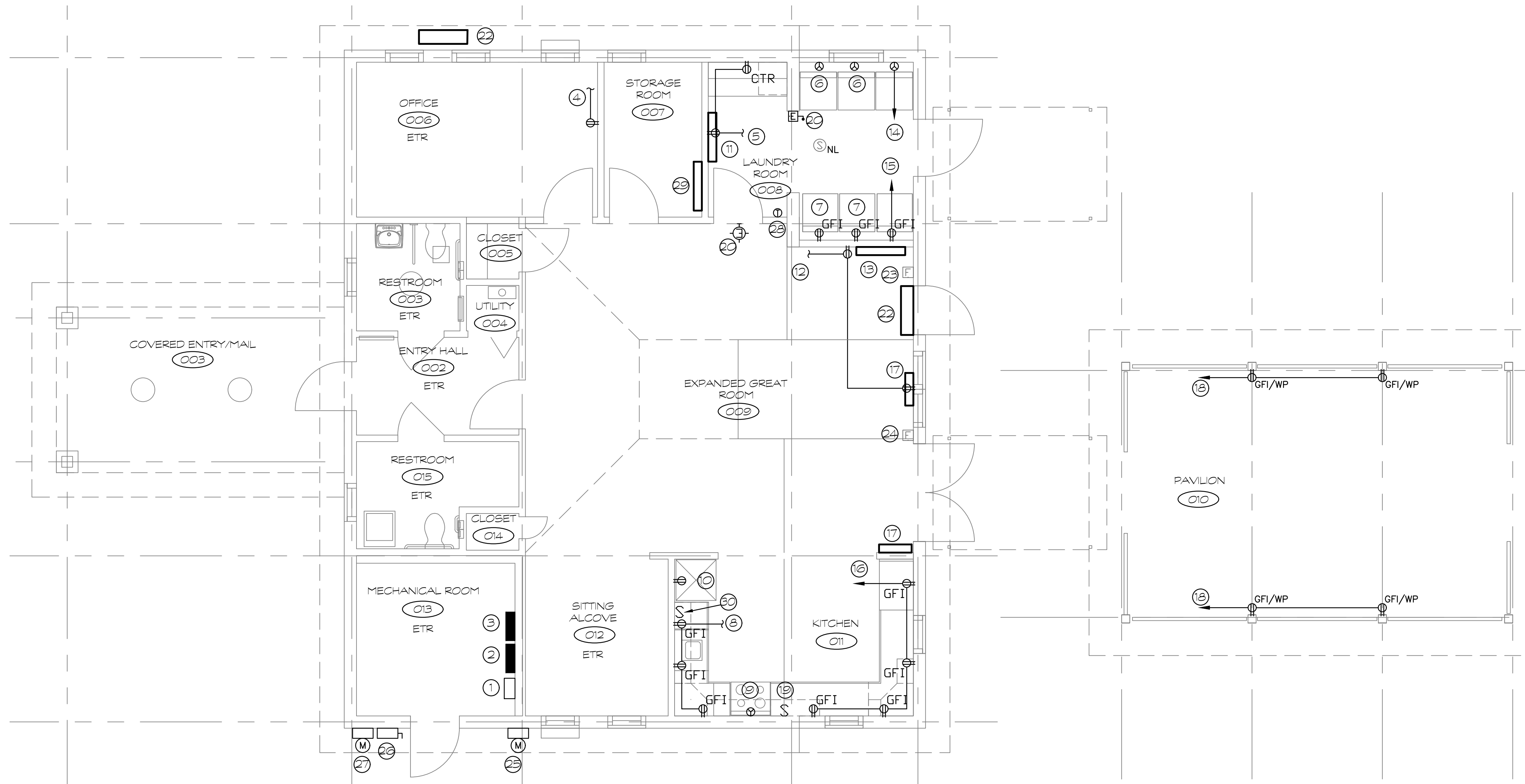
- LOCATION OF NEW OFFICE LIGHT FIXTURES AND SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW SWITCH LOCATION. REUSE EXISTING CIRCUIT.
- LOCATION OF EXISTING STORAGE LIGHT FIXTURE AND SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW LIGHT/SWITCH LOCATIONS.
- LOCATION OF NEW THREE-WAY LAUNDRY LIGHT SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW LIGHT/SWITCH LOCATIONS. PROVIDE NEW THREE-WAY SWITCH AT EXTERIOR DOOR. REUSE EXISTING CIRCUITING. EXTEND/ALTER CONDUIT/WIRING FOR THREE WAY OPERATION TO NEW LIGHT AND SWITCH LOCATIONS. PROVIDE NEW TYPE "A" LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE ON DRAWING E001 FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW KITCHEN LIGHT SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW LIGHT/SWITCH LOCATIONS. REUSE EXISTING CIRCUITING. PROVIDE NEW TYPE "A" LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE ON DRAWING E001 FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW EXTERIOR LIGHT SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW LIGHT/SWITCH LOCATIONS. REUSE EXISTING CIRCUITING. EXISTING LIGHT FIXTURES TO BE REINSTALLED.
- NEW THREE WAY AND FOUR WAY SWITCH LOCATIONS FOR CONTROL OF GREAT ROOM LIGHTS. PROVIDE WIRING FOR THREE LOCATION OPERATION TO NEW LIGHT FIXTURE LOCATIONS.
- PROVIDE NEW COLUMN MOUNTED TYPE "AA" LIGHT FIXTURES IN THE PAVILION. CONNECT TO PAVILION OUTLET CIRCUIT. REFER TO LIGHT FIXTURE SCHEDULE ON DRAWING E001 FOR ADDITIONAL INFORMATION. ALL NEW WIRING FOR LIGHTS AND LIGHT SWITCH SHALL BE CONCEALED. FIXTURE TO BE MOUNTED AT 7' AFF TO CENTER OF FIXTURE.
- COVE LIGHT FIXTURES IN THE GREAT ROOM ARE TO BE CONTROLLED BY NEW THREE WAY SWITCHES AT THE DOOR FROM ENTRY HALL AND EXTERIOR DOOR. EXTEND/ALTER CONDUIT/WIRING FOR THREE WAY OPERATION TO NEW LIGHT AND SWITCH LOCATIONS.
- EXISTING EMERGENCY LIGHT FIXTURE LOCATION. EMERGENCY LIGHT TO REMAIN.
- CONNECT NEW EXIT SIGNS TO LIGHT CIRCUIT IN THE ROOM. SIGNS SHALL BE CONNECTED AHEAD OF THE SWITCH LEG.
- LOCATE NEW LIGHT SWITCH FOR PAVILION LIGHT FIXTURES ON FACE OF COLUMN. COORDINATE LOCATION IN FIELD.
- EXISTING LIGHT FIXTURE ABOVE LOUVER SHALL BE REINSTALLED IN NEW WALL LOCATION. EXTEND/ALTER CONDUIT/WIRING TO NEW LIGHT LOCATION.
- PROVIDE NEW WALL MOUNTED TYPE "BB" LIGHT FIXTURES ABOVE DOORS AT SAME HEIGHT AS EXISTING FIXTURES. EXTEND/ALTER CONDUIT/WIRING FROM NEW SWITCH LOCATION IN GREAT ROOM TO LIGHT FIXTURE LOCATIONS. PROVIDE UNSWITCHED POWER TO BATTERY PACK. REFER TO LIGHT FIXTURE SCHEDULE ON DRAWING E001 FOR ADDITIONAL INFORMATION.
- PROVIDE NEW CEILING FAN AND MOUNTING TO REPLACE EXISTING FAN. CONNECT TO EXISTING BRANCH CIRCUIT AND PROVIDE NEW FAN CONTROLLER.



KEY PLAN  
SCALE: NONE





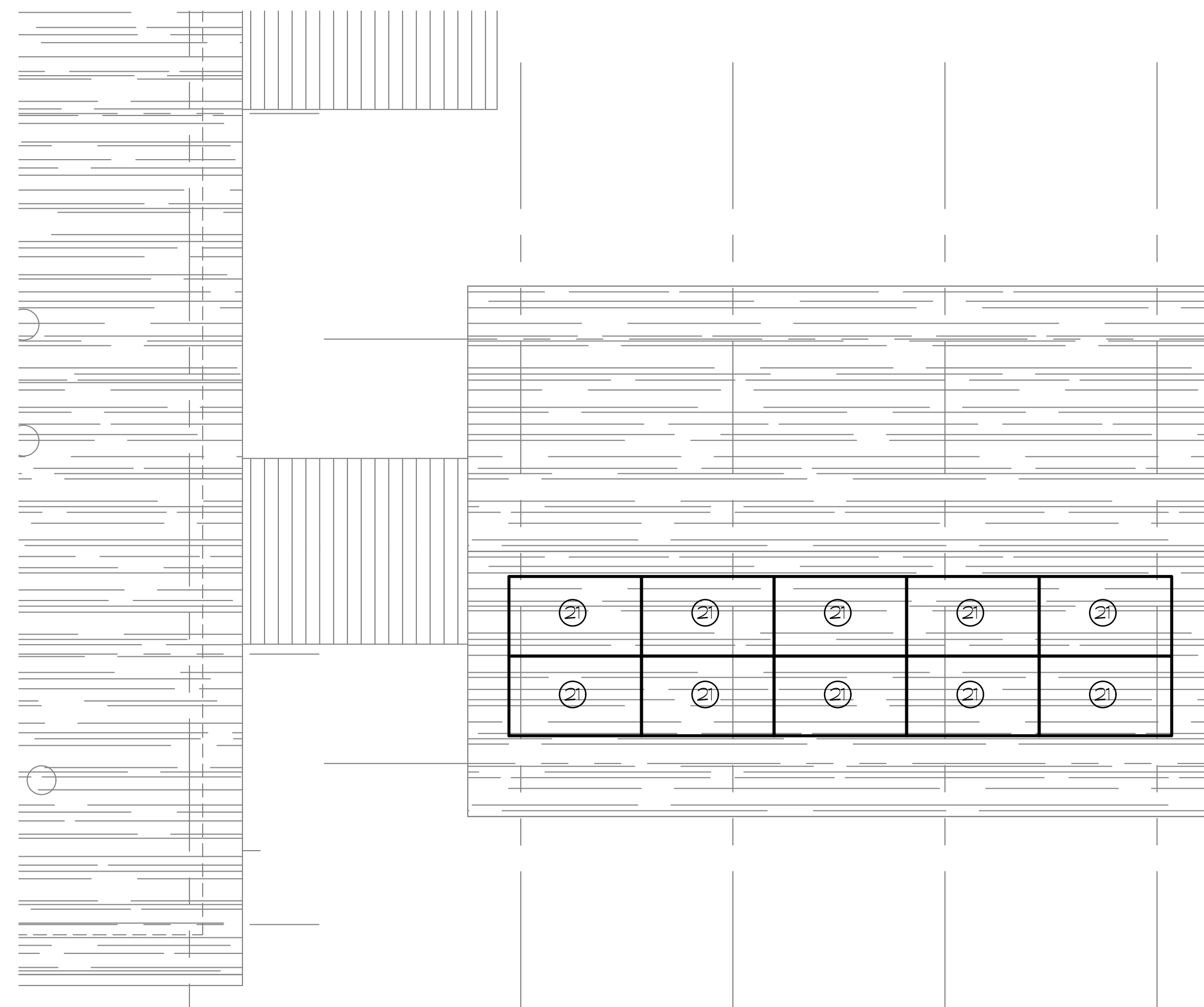


COMMUNITY CENTER ELECTRICAL POWER PLAN  
SCALE: 1/4" = 1'-0"

1  
E102

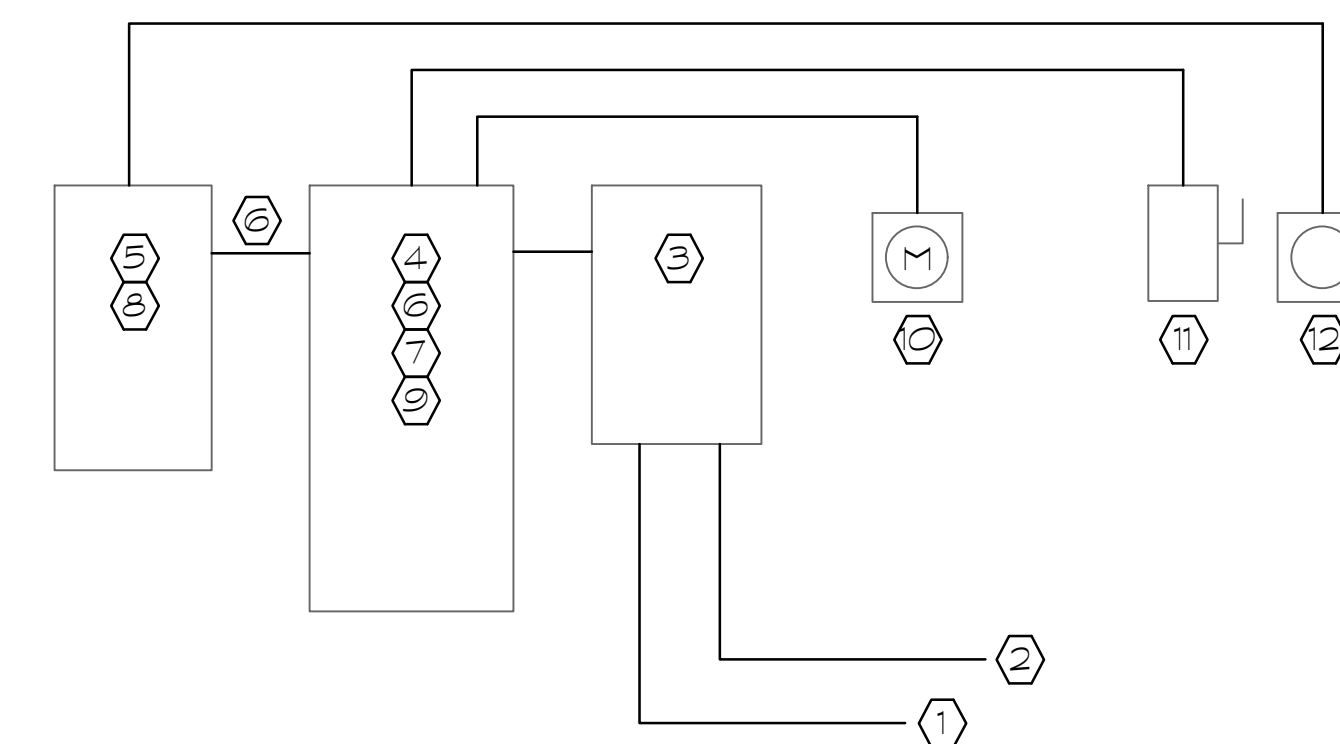
## ELECTRICAL POWER KEYNOTES

- 1 EXISTING 200A AUTOMATIC TRANSFER SWITCH TO REMAIN.
- 2 EXISTING 240/120V, 1Ø, 3W, 42 POLE PANEL TO REMAIN. REFER TO ADDITIONAL NOTES ON ONE-LINE POWER RISER DIAGRAM.
- 3 NEW 240/120V, 1Ø, 3W, 12 POLE SUB-PANEL. REFER TO ADDITIONAL NOTES ON ONE-LINE POWER RISER DIAGRAM.
- 4 CONNECT NEW OUTLET TO EXISTING OFFICE CIRCUIT (#33) SERVING THE OFFICE. EXTEND/ALTER CONDUIT/WIRING TO NEW OUTLET LOCATION.
- 5 REUSE EXISTING LAUNDRY ROOM CIRCUIT (#34) FOR NEW LAUNDRY ROOM OUTLETS. EXTEND/ALTER CONDUIT/WIRING TO NEW OUTLET LOCATIONS.
- 6 REUSE EXISTING DRYER CIRCUITS (#21/22 AND 23/24) FOR NEW DRYERS. EXTEND/ALTER CONDUIT/WIRING TO NEW DRYER LOCATIONS.
- 7 REUSE EXISTING WASHER CIRCUITS (#31 AND 32) FOR NEW WASHERS. EXTEND/ALTER CONDUIT/WIRING TO NEW WASHER LOCATIONS.
- 8 REUSE EXISTING KITCHEN COUNTER CIRCUITS (#26 AND 27) FOR NEW COUNTER OUTLETS. EXTEND/ALTER CONDUIT/WIRING TO NEW OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY THAT CIRCUIT #28 IS SERVING THE KITCHEN COUNTER.
- 9 REUSE EXISTING RANGE CIRCUIT (#3/4) FOR NEW RANGE.
- 10 REUSE EXISTING REFRIGERATOR CIRCUIT (#25) FOR NEW REFRIGERATOR.
- 11 REUSE EXISTING ELECTRIC HEAT CIRCUIT FOR LAUNDRY ROOM. EXTEND/ALTER CONDUIT/WIRING TO NEW HEATER LOCATION.
- 12 CONNECT NEW OUTLET TO EXISTING GREAT ROOM CIRCUIT (#29) SERVING THE GREAT ROOM. EXTEND/ALTER CONDUIT/WIRING TO NEW OUTLET LOCATIONS.
- 13 REUSE EXISTING ELECTRIC HEAT CIRCUIT FOR GREAT ROOM. EXTEND/ALTER CONDUIT/WIRING TO NEW HEATER LOCATION.
- 14 PROVIDE NEW 30A-2P CIRCUIT BREAKER IN MAIN PANEL (SPACES 25/26) FOR NEW DRYER. PROVIDE 3#10 & 1#10G IN 3/4" TO NEW DRYER OUTLET.
- 15 PROVIDE NEW 20A-1P CIRCUIT BREAKER (SPACE 30) IN MAIN PANEL FOR NEW WASHER. PROVIDE 2#12 & 1#12G IN 3/4" TO NEW WASHER OUTLET.
- 16 PROVIDE NEW 20A-1P CIRCUIT BREAKER IN MAIN PANEL (SPACE 29) FOR NEW COUNTER GFI OUTLETS. PROVIDE 2#12 & 1#12G IN 3/4" TO NEW COUNTER OUTLETS.
- 17 REUSE EXISTING GREAT ROOM HEAT CIRCUIT FOR RELOCATED ELECTRIC BASEBOARD. EXTEND/ALTER CONDUIT/WIRING TO NEW HEATER LOCATIONS.
- 18 REUSE OUTLET CIRCUIT FOR OLD PAVILION FOR NEW OUTLETS ON ONE SIDE. PROVIDE NEW CIRCUIT FOR SECOND SIDE. PROVIDE 3" SCHEDULE 40 PVC CONDUIT FROM BUILDING TO PAVILION FOR CIRCUITS. OUTLETS TO BE MOUNTED ON COLUMNS. COLUMN LIGHT FIXTURES SHALL BE CONNECTED TO ONE CIRCUIT. REFER TO DRAWING E101 FOR ADDITIONAL INFORMATION.
- 19 NEW LOCATION FOR KITCHEN WALL EXHAUST FAN SWITCH. EXTEND/ALTER CONDUIT/WIRING TO NEW SWITCH LOCATION.
- 20 NEW LOCATION FOR CALL FOR AID SYSTEM IN THE LAUNDRY. EXTEND/ALTER CONDUIT/WIRING TO NEW DEVICE LOCATIONS. CONNECT TO LAUNDRY ROOM OUTLET CIRCUIT.
- 21 TYPICAL SOLAR PHOTOVOLTAIC PANEL ATTACHED FLAT TO NEW PAVILION ROOF. PROVIDE MANUFACTURER APPROVED HARDWARE AND COORDINATE WITH ROOFING CONTRACTOR. REFER TO 1-LINE DIAGRAM ON DRAWING E001 FOR WIRING DETAILS.
- 22 NEW OUTDOOR/INDOOR HEAT PUMP SPLIT SYSTEM TO BE REPLACED IN KIND. EXISTING WIRING SHALL BE REUSED. PROVIDE NEW 3/4" LFMC CONDUITS FROM DISCONNECT SWITCH TO OUTDOOR UNIT. TURN CIRCUIT BREAKER OFF UNTIL INSTALLATION OF SYSTEM IS COMPLETE.
- 23 NEW LOCATION FOR FIRE ALARM PULL STATION. PROVIDE NEW WIRING FROM LAST REMAINING EXISTING DEVICE.
- 24 PROVIDE NEW FIRE ALARM PULL STATION. PROVIDE WIRING FROM RELOCATED PULL STATION TO NEW.
- 25 EXISTING UTILITY COMPANY METER LOCATION.
- 26 NEW PV SYSTEM DISCONNECT SWITCH LOCATION. REFER TO PHOTOVOLTAIC SYSTEM RISER DIAGRAM ON DRAWING E001 FOR ADDITIONAL INFORMATION.
- 27 NEW PV SYSTEM ZREC METER LOCATION. REFER TO PHOTOVOLTAIC SYSTEM RISER DIAGRAM ON DRAWING E001 FOR ADDITIONAL INFORMATION.
- 28 NEW THERMOSTAT LOCATION FOR LAUNDRY ROOM BASEBOARD. EXTEND/ALTER CONDUIT/WIRING TO NEW LOCATION AS REQUIRED.
- 29 NEW LOCATION OF ELECTRIC BASEBOARD. REUSE EXISTING ELECTRIC HEAT CIRCUIT FOR LAUNDRY ROOM. EXTEND/ALTER CONDUIT/WIRING TO NEW HEATER LOCATION. MOUNT THERMOSTAT ON INTERIOR WALL.
- 30 PROVIDE 120V, 20A DEDICATED BRANCH CIRCUIT FOR DISHWASHER, TOGGLE SWITCH DISCONNECT ABOVE C'TOP AND CONNECTION TO UNIT BELOW COUNTER.



PAVILION ROOF PV PLAN  
SCALE: 1/4" = 1'-0"

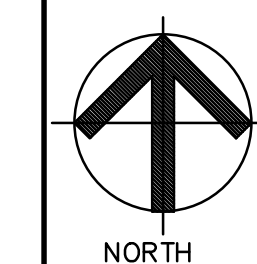
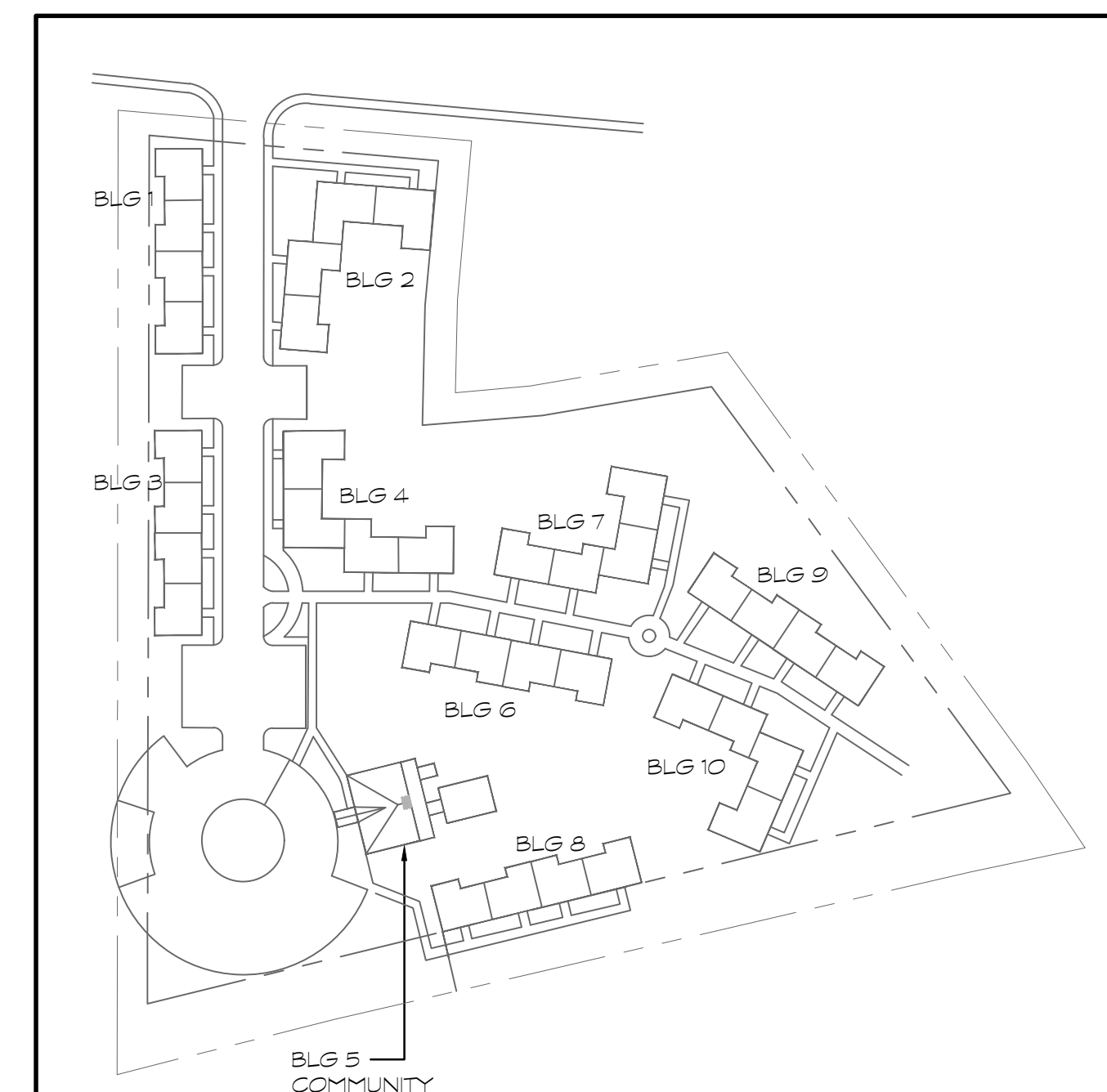
2  
E102



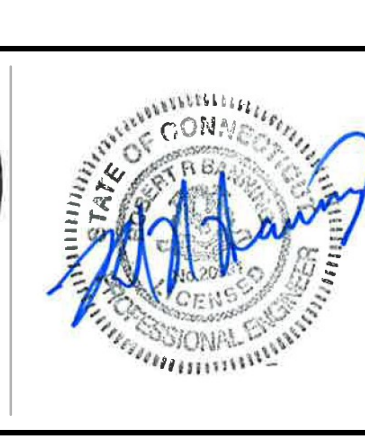
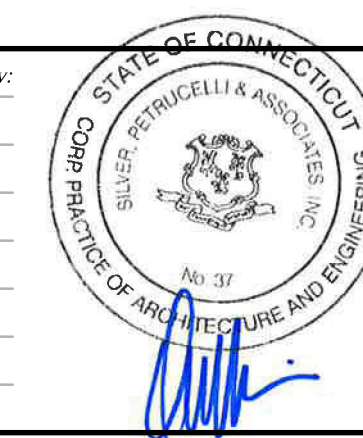
ELECTRICAL ONE-LINE POWER RISER DIAGRAM  
SCALE: NONE

## POWER RISER KEYNOTES

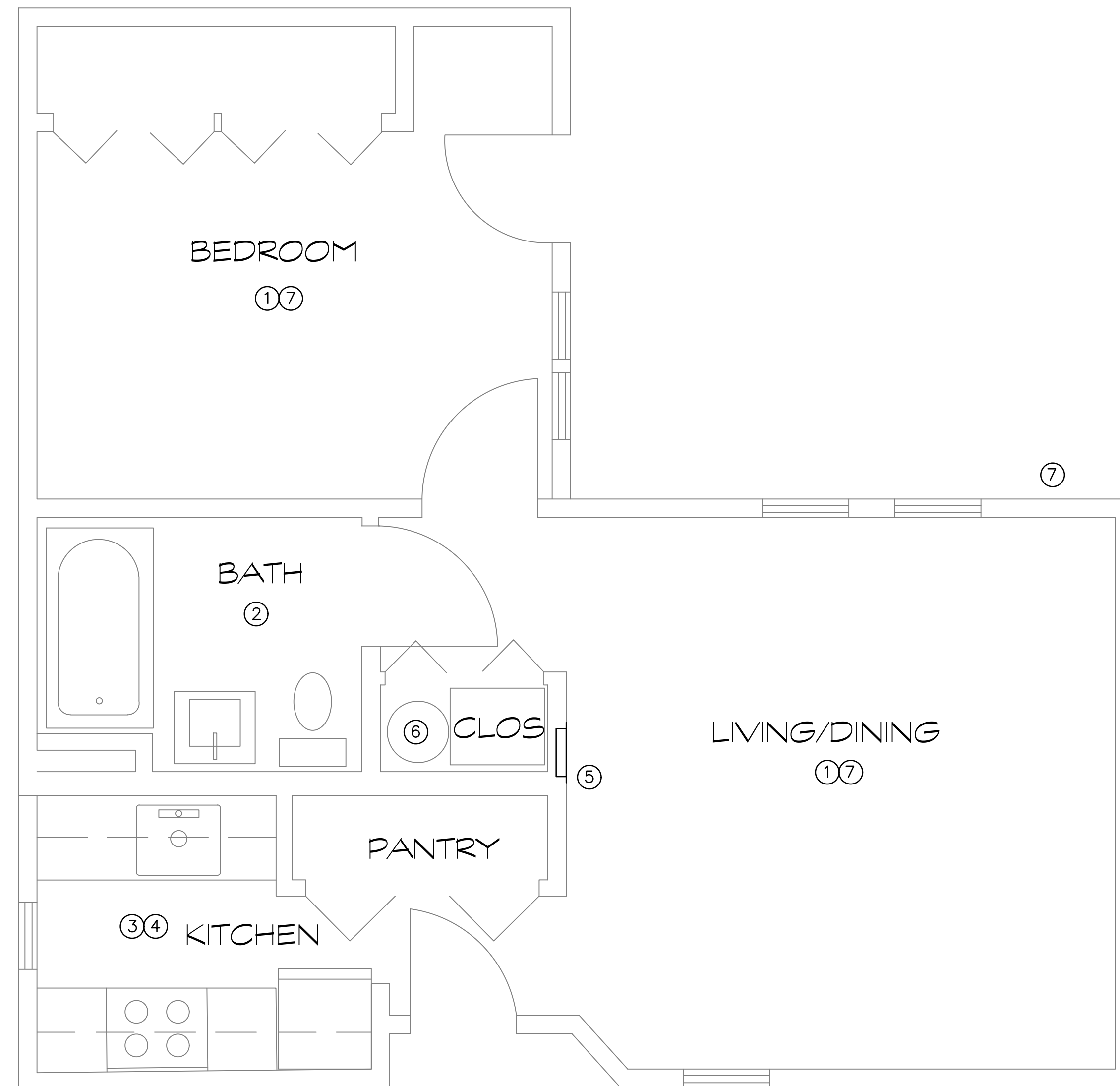
- 1 EXISTING INCOMING ELECTRIC SERVICE.
- 2 EXISTING INCOMING EMERGENCY FEED FROM GENERATOR.
- 3 EXISTING 200A AUTOMATIC TRANSFER SWITCH LOCATED IN MECHANICAL ROOM.
- 4 EXISTING 200A, 240/120V, 1Ø, 3W, 42 POLE, MCB PANEL LOCATED IN MECHANICAL ROOM.
- 5 NEW 100A, 240/120V, 1Ø, 3W, 12 POLE, MLO SUB-PANEL LOCATED IN MECHANICAL ROOM.
- 6 REMOVE EXISTING 15A-1P C/B IN SPACE 1 AND 20A-1P C/B IN SPACE 3. PROVIDE NEW 60A-2P CIRCUIT BREAKER FOR SUB-PANEL FEED. PROVIDE 3#6 & 1#10G IN 3/4" C TO SUB-PANEL.
- 7 TRANSFER CIRCUITS 25-30 (RIGHT SIDE) TO NEW SUB-PANEL. EXTEND CONDUIT AND WIRING AS REQUIRED.
- 8 PROVIDE (6) 20A-1P SPARE CIRCUIT BREAKERS AND (6) 20A-1P CIRCUIT BREAKERS FOR CIRCUITS TRANSFERRED FROM MAIN PANEL IN NEW SUB-PANEL.
- 9 PROVIDE 30A-2P BREAKER FOR PV SYSTEM FEED INTO PANEL. PROVIDE NEC REQUIRED LABELING OF BREAKER AND PANEL INDICATING THE PV SOURCE.
- 10 UTILITY COMPANY METER ON SIDE OF COMMUNITY BUILDING.
- 11 NEW PV SYSTEM DISCONNECT SWITCH ON SIDE OF COMMUNITY BUILDING. PROVIDE LABEL STATING "PV SYSTEM DISCONNECT" ON SWITCH.
- 12 NEW PV SYSTEM ZREC METER ON SIDE OF COMMUNITY BUILDING.



KEY PLAN  
SCALE: NONE







TYPICAL DOUBLE UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"

2  
E103



TYPICAL SINGLE UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
E103

# ELECTRICAL SCOPE NOTES:

- 1 ALL OUTLETS IN THIS ROOM SHALL BE REMOVED AND REPLACED WITH TAMPER RESISTANT OUTLETS. EXISTING WIRING SHALL REMAIN. (APPROXIMATE COUNT; 9)
- 2 ALL OUTLETS IN THIS ROOM SHALL BE REMOVED AND REPLACED WITH TAMPER RESISTANT/GROUND FAULT OUTLETS. EXISTING WIRING SHALL REMAIN. (COUNT; 1)
- 3 ALL COUNTER OUTLETS IN THIS ROOM SHALL BE REMOVED AND REPLACED WITH TAMPER RESISTANT/GROUND FAULT OUTLETS. EXISTING WIRING SHALL REMAIN. (APPROXIMATE COUNT; 3)
- 4 EXISTING OUTLETS SERVING THE RANGE AND REFRIGERATOR SHALL REMAIN.
- 5 EXISTING CIRCUIT BREAKERS SERVING OUTLET CIRCUITS IN BEDROOM, LIVING ROOM/DINING ROOM AND KITCHEN SHALL BE REPLACED WITH ARC FAULT CIRCUIT BREAKERS. PANELS ARE TYPICALLY LOCATED IN LIVING ROOM. (APPROXIMATE COUNT; 5)
- 6 ELECTRIC WATER HEATER SHALL BE REMOVED. TURN CIRCUIT BREAKER OFF AND MAKE WIRING SHALL BE MADE SAFE FOR CONNECTION TO NEW WATER HEATER. REMOVE JUNCTION BOX AND REPLACE WITH 30A/2, 240V, NEMA 1, NON-FUSED DISCONNECT SWITCH. RECONNECT CIRCUIT TO NEW WATER HEATER SWITCH AND TURN CIRCUIT BREAKER ON.
- 7 EXISTING DUCTLESS SPLIT SYSTEMS (OUTDOOR AND INDOOR UNITS) ARE BEING REPLACED. TURN EXTERIOR DISCONNECT SWITCH OFF AND WIRING SHALL BE MADE SAFE FOR CONNECTION TO NEW DUCTLESS SPLIT SYSTEM. RECONNECT WIRING TO NEW EXTERIOR UNIT AND TURN DISCONNECT SWITCH ON.

GEN: REFER TO DRAWING ES100 FOR NEW GENERATOR CONNECTION TO UNIT LOAD CENTERS.

Project Title:

Essex Housing Authority

## Renovations at Essex Court

16 Main Street  
Centerbrook, CT 06409



SILVER / PETRUCCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340  
One Post Hill Place, New London, CT 06320  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

Revision:

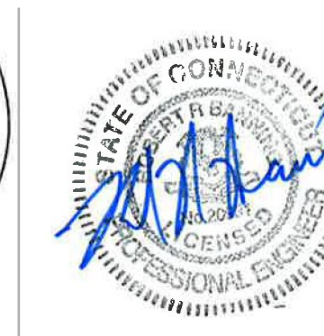
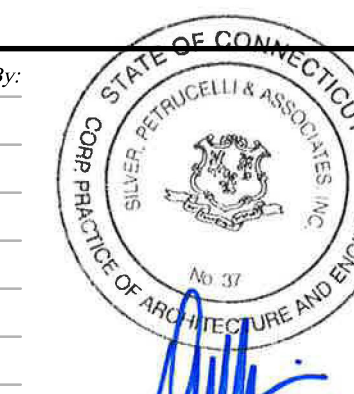
Description:

Date:

Revised By:

BID DOCUMENTS

9/16/2022



Drawing Title:

## Typical Apartment Part Plans

Date:

SEPTEMBER 16, 2022

Scale:

AS NOTED

Drawn By:

GK

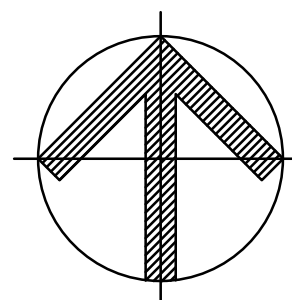
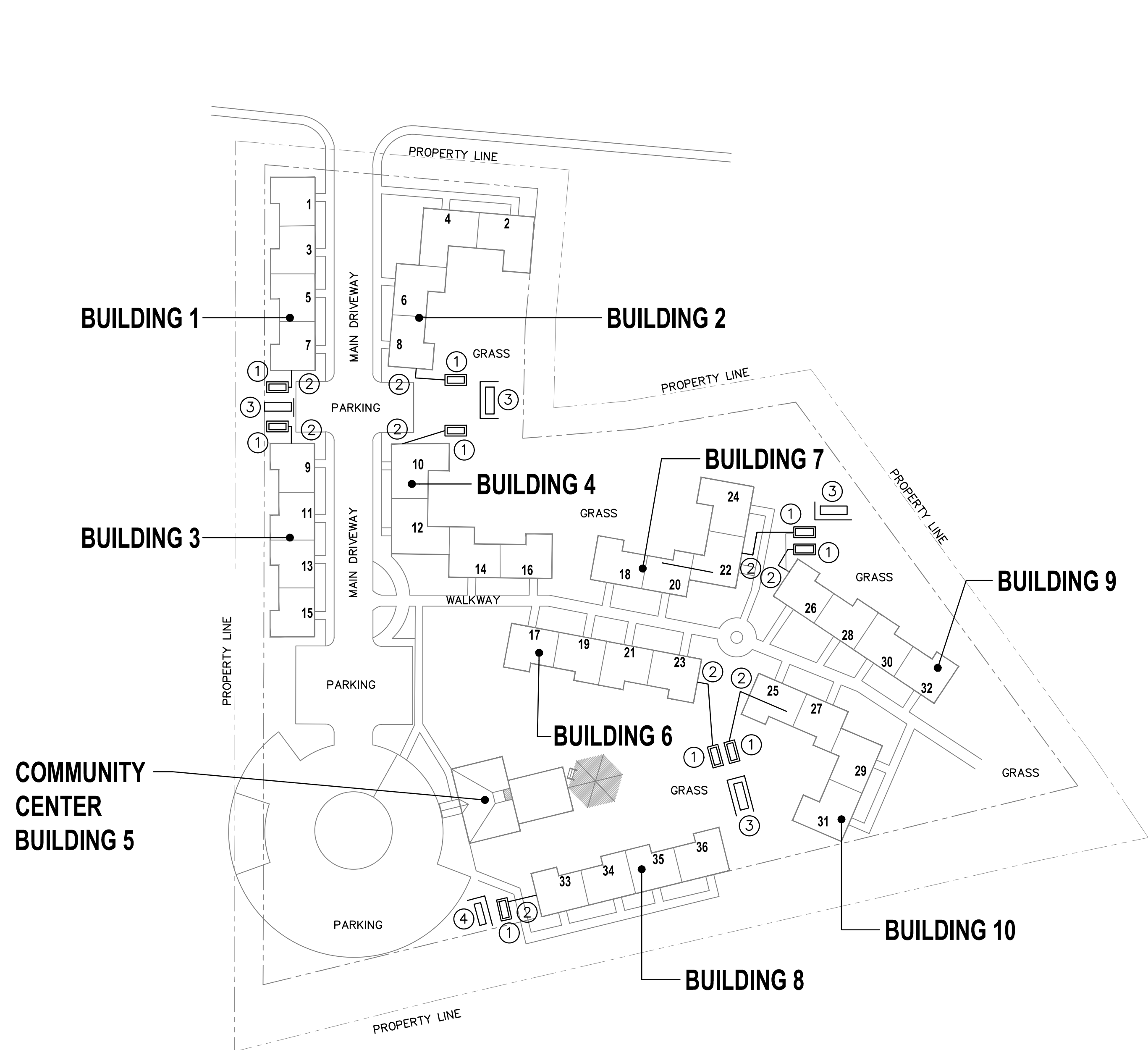
Project Number:

21.007

Drawing Number:

E103





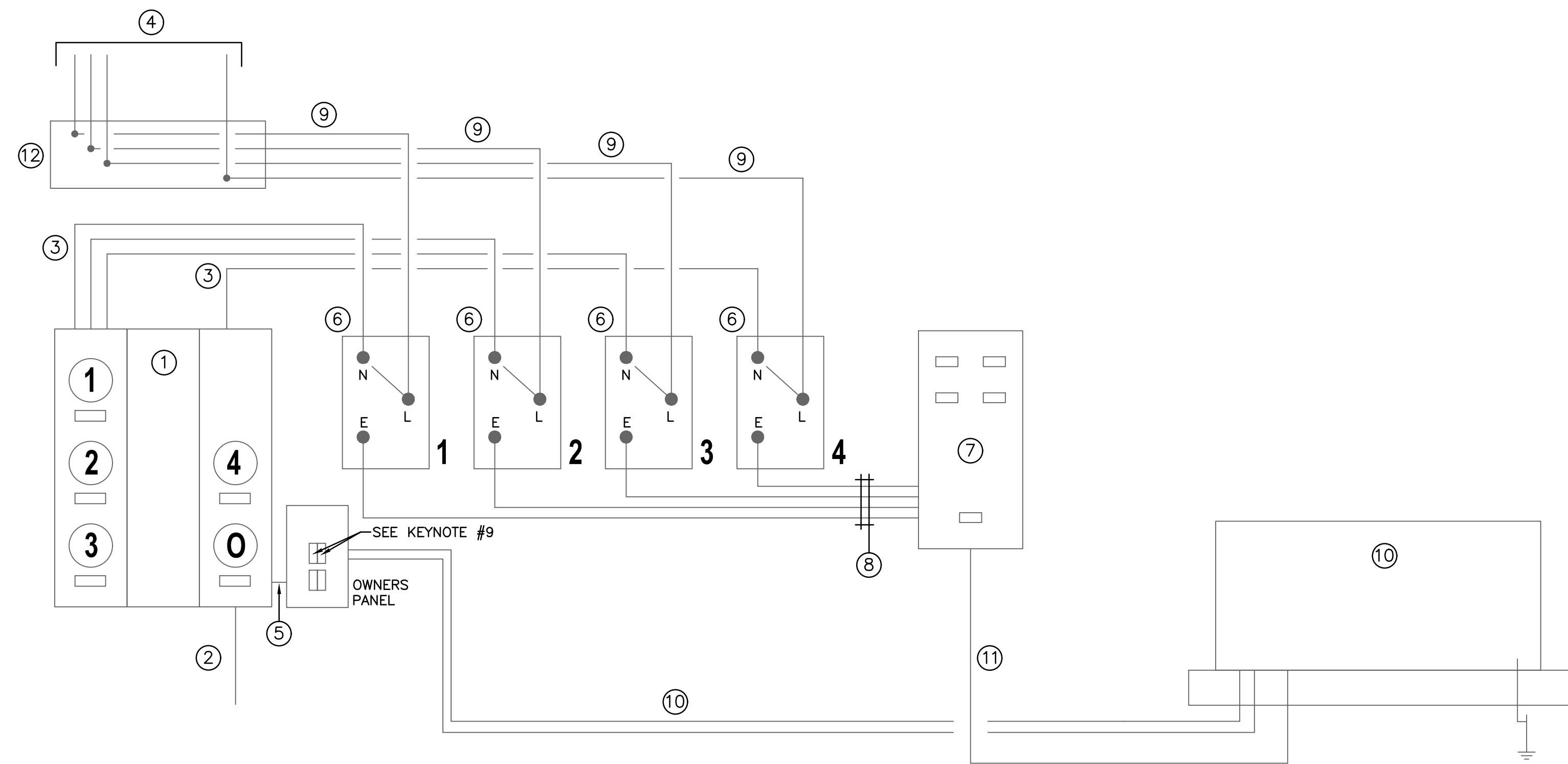
# ELECTRICAL SITE PLAN

SCALE: 1" = 30'-0"

1  
ES100

## ELECTRICAL SITE PLAN KEYNOTES

1. NEW 48KW, PROPANE FIRED GENERATOR.
2. APPROXIMATE LOCATION OF NEW ENCLOSURE FOR ELECTRICAL EQUIPMENT.
3. APPROXIMATE LOCATION OF 500 GALLON (10'x38'6"), ABOVE GROUND PROPANE TANK PROVIDED BY PROPANE SUPPLIER. PROVIDE 48" HIGH SOLID VINYL FENCE SCREEN AS INDICATED. EXACT LOCATION AND ORIENTATION OF TANK TO BE DETERMINED IN FIELD.
4. APPROXIMATE LOCATION OF 250 GALLON (8'-2"x30"x6"), ABOVE GROUND PROPANE TANK PROVIDED BY PROPANE SUPPLIER. PROVIDE 48" HIGH SOLID VINYL FENCE SCREEN AS INDICATED. EXACT LOCATION AND ORIENTATION OF TANK TO BE DETERMINED IN FIELD.

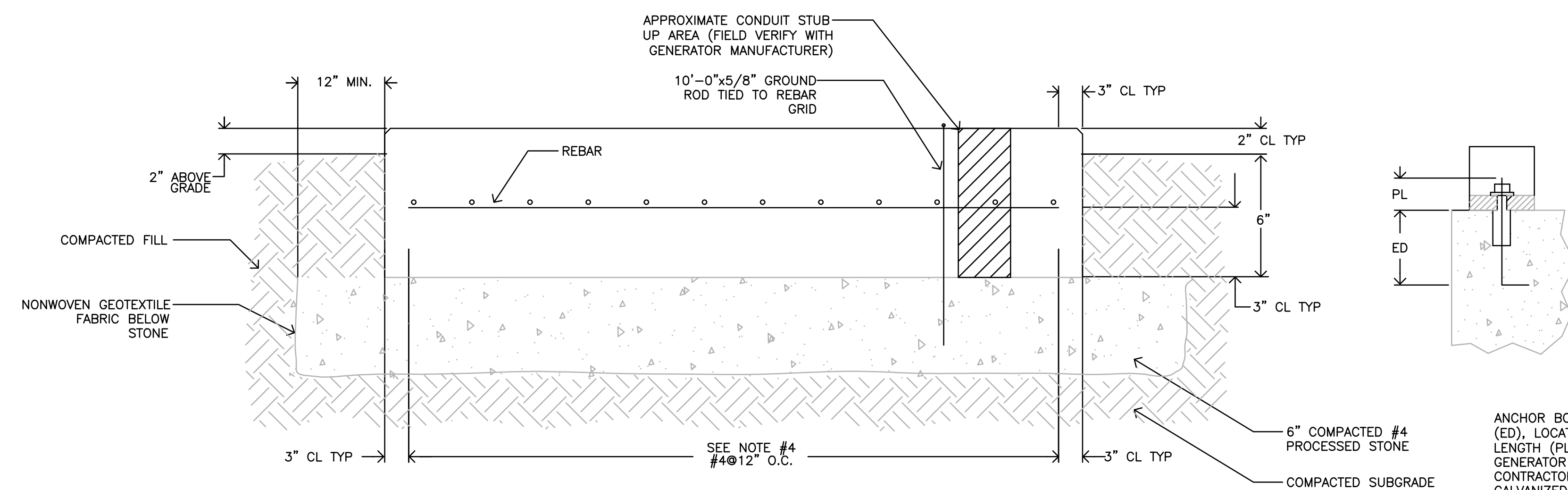
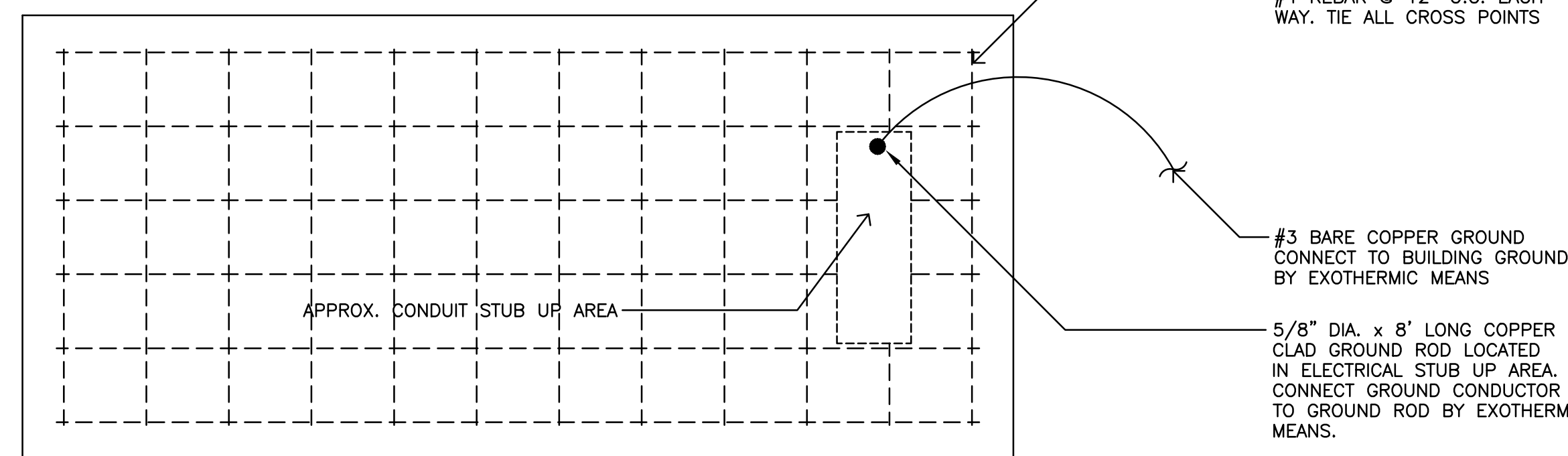


## TYPICAL APARTMENT BUILDING RISER DIAGRAM

SCALE: NONE

## TYPICAL APARTMENT BUILDING ONE-LINE POWER RISER DIAGRAM KEYNOTES

1. EXISTING METER BANK LOCATED IN ENCLOSURE ON SIDE OF APARTMENT BUILDING. METERS ARE FOR APT 1, APT 2, APT 3, APT 4 AND AN OWNERS METER.
2. INCOMING ELECTRIC SERVICE FROM UTILITY COMPANY TRANSFORMER.
3. EXISTING APARTMENT FEEDER TO BE CUT BACK WITHIN 12' OF WHERE FEEDER ENTERS THE BUILDING. PROVIDE NEW SERVICE ENTRANCE CABLE (SER) FROM METER BANK TO NEW 100A AUTOMATIC TRANSFER SWITCH-1 LOCATED IN NEW EXTENDED ENCLOSURE ON SIDE OF BUILDING. TYPICAL FOR FOUR APARTMENTS. NEW FEEDER FROM TRANSFER SWITCH IS TO BE RECONNECTED TO APARTMENT FEED. NEW FEEDER SHALL MATCH EXISTING.
4. FEEDERS TO RESPECTIVE APARTMENTS. EXISTING FEEDERS ARE ROUTED IN ATTIC SPACES BEFORE DROPPING TO PANEL.
5. OWNERS PANEL FEEDER TO REMAIN.
6. NEW 100A 240/120V, 1Ø, 4 SPACE/8 CIRCUIT, MCB, NEMA 3R PANEL WITH (4) 100A-2P CIRCUIT BREAKERS FOR APARTMENT TRANSFER SWITCHES. PANEL SHALL BE LABELED (R4). (PANEL NUMBER SHALL MATCH BUILDING NUMBER).
7. NEW 200A 240/120V, 1Ø, 4 SPACE/8 CIRCUIT, MCB, NEMA 3R PANEL WITH (4) 100A-2P CIRCUIT BREAKERS FOR APARTMENT TRANSFER SWITCHES. PANEL SHALL BE LABELED (R4). (PANEL NUMBER SHALL MATCH BUILDING NUMBER).
8. PROVIDE #3 SER COPPER CABLE WITH GROUND FROM GENERATOR PANEL WITH 100A-2P CIRCUIT BREAKER TO APARTMENT TRANSFER SWITCH.
9. NEW #3 SERVICE ENTRANCE COPPER CABLE (SER) WITH GROUND FROM AUTOMATIC TRANSFER SWITCH TO EXISTING APARTMENT FEEDER. MAKE CONNECTIONS IN ENCLOSURE.
10. PROVIDE NEW PROPANE FIRED 48KW, 240V, 1Ø EMERGENCY GENERATOR WITH 200A OUTPUT CIRCUIT BREAKER AND LEVEL 2 ENCLOSURE. PROVIDE CONCRETE PAD (6' LARGER ON ALL SIDES) FOR GENERATOR. PROVIDE 2#12 & 1#2#6 IN 3/4" SCHEDULE 40 PVC CONDUIT FROM NEW 200A-2P CIRCUIT BREAKER IN EXISTING OWNERS PANEL FOR GFI OUTLET AND 2#12 & 1#2#6 IN 3/4" SCHEDULE 40 PVC CONDUIT FROM NEW 200A-2P CIRCUIT BREAKER IN OWNERS PANEL FOR BLOCK HEATER. NEW CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH PANEL. PROVIDE ONE GROUND ROD AT EACH GENERATOR.
11. PROVIDE 3#3/0 & 1#6#6 IN 2" SCHEDULE 40 PVC CONDUIT FROM GENERATOR FOR NEW GENERATOR PANEL.
12. PROVIDE NEMA 3R ENCLOSURE FOR APARTMENT FEEDER SPLICES. SPLICE SHALL BE VIA TERMINAL BLOCK OR HI-PRESS GRIMP.



## GENERATOR/PROPANE TANK CONCRETE PAD DETAIL

N.T.S.

### NOTES:

1. INSPECT AND COMPACT ALL SOIL. PROVIDE 12" BASE OF ITEM #4 PROCESSED STONE, COMPACTED.
2. ALL EXPOSED EDGES SHALL BE 3/4" CHAMFER.
3. CONCRETE SHALL BE 4000 PSI @ 7 DAYS.
4. LENGTH AND WIDTH OF PAD TO BE 6" WIDER ON EACH SIDE THAN GENERATOR ENCLOSURE. LENGTH SHALL ALLOW FOR SUB BASE TANK INSTALLATION.
5. PRECAST PAD APPROVED BY GENERATOR MANUFACTURER IS ALSO ACCEPTABLE.

ANCHOR BOLT EMBEDDED DEPTH (ED), LOCATION AND PROJECTION LENGTH (PL) TO BE SUPPLIED BY GENERATOR SUPPLIER. CONTRACTOR TO SUPPLY GALVANIZED ANCHOR BOLTS TO FIT HOLE IN EQUIPMENT.

TYPICAL ANCHOR BOLT  
N.T.S.

